

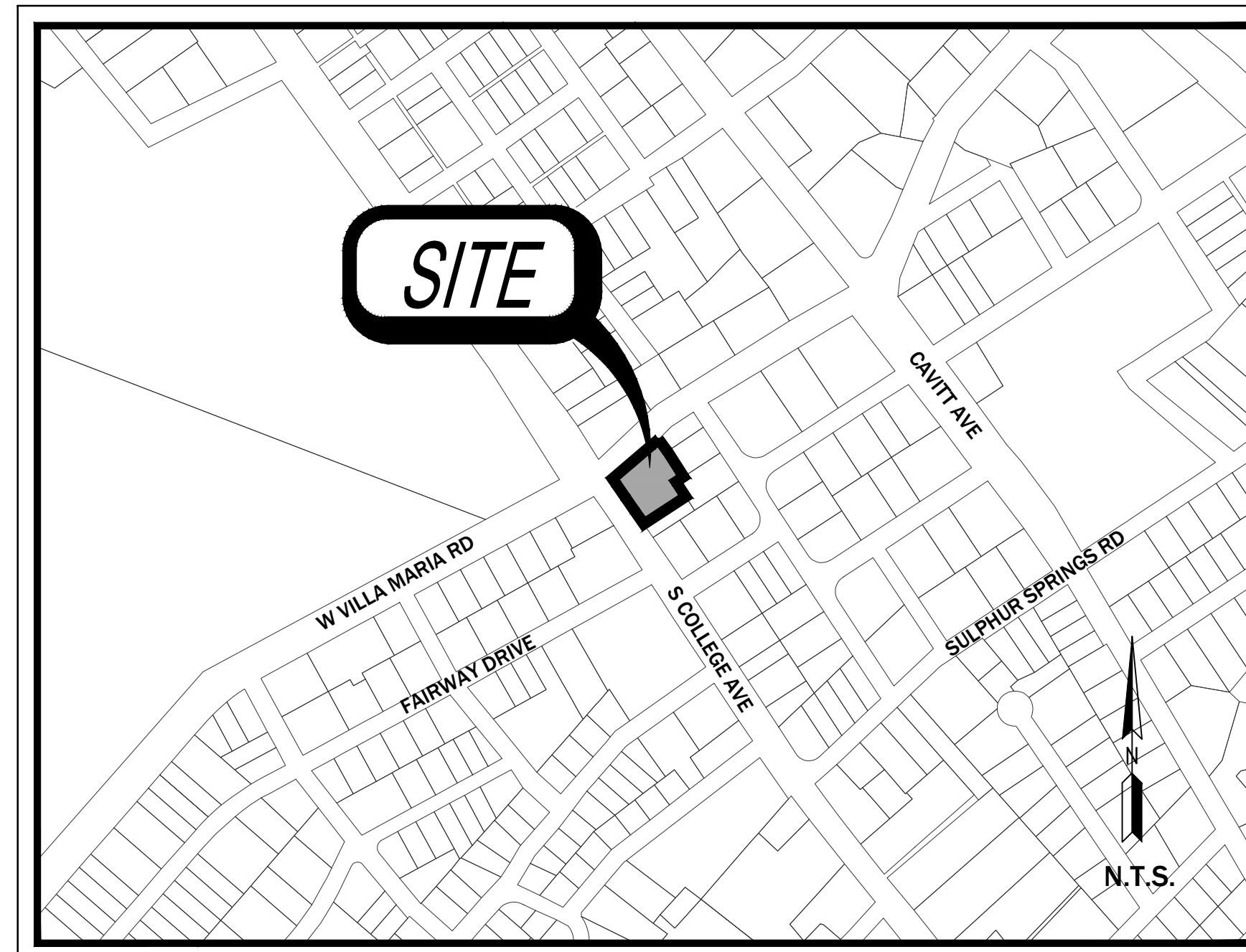
# S COLLEGE FUEL STATION

BRYAN, TEXAS  
NOVEMBER, 2023

**ENGINEER:**  

---

*MITCHELL & MORGAN, L.L.P.*  
*3204 EARL RUDDER FWY. S.*  
*COLLEGE STATION, TEXAS 77845*  
*(979) 260-6963*



**VICINITY MAP**  
N.T.S.

**OWNER:**  

---

*VIJAY KUMAR*  
*EL ELOHIM LLC*  
*4308 EGREMONT PL*  
*COLLEGE STATION, TEXAS 77845*  
*979-255-6045*

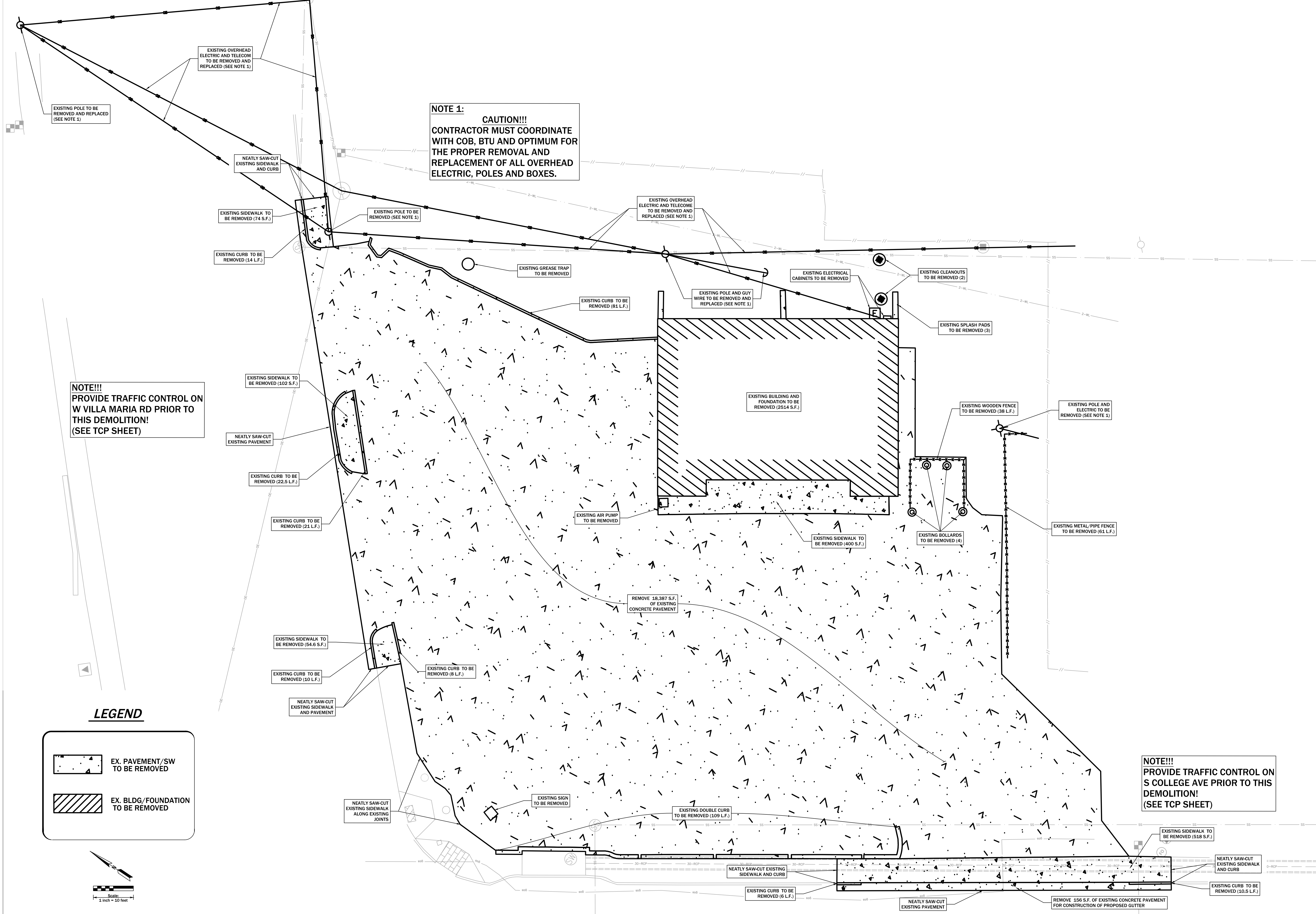
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Prepared by:  
Veronica J.B. Morgan, P.E.  
No. 77689

## INDEX OF SHEETS

- SP - SITE PLAN
- DP - DEMO PLAN
- GP - GRADING PLAN
- PP - PAVING PLAN
- PD - PAVING DETAILS
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- TCP - TRAFFIC CONTROL PLAN
- DT - MISCELLANEOUS DETAILS
- LS - LANDSCAPE PLAN
- DI - PLANTING DETAILS
- D2 - HARDSCAPE DETAILS 1
- D3 - HARDSCAPE DETAILS 2



PROJECT BENCHMARK:



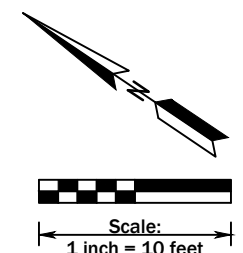
**NOTE 1:**  
**CAUTION!!!**  
 CONTRACTOR MUST COORDINATE WITH COB, BTU AND OPTIMUM FOR THE PROPER REMOVAL AND REPLACEMENT OF ALL OVERHEAD ELECTRIC, POLES AND BOXES.

**NOTE!!!**  
 PROVIDE TRAFFIC CONTROL ON W VILLA MARIA RD PRIOR TO THIS DEMOLITION!  
 (SEE TCP SHEET)

**NOTE!!!**  
 PROVIDE TRAFFIC CONTROL ON S COLLEGE AVE PRIOR TO THIS DEMOLITION!  
 (SEE TCP SHEET)

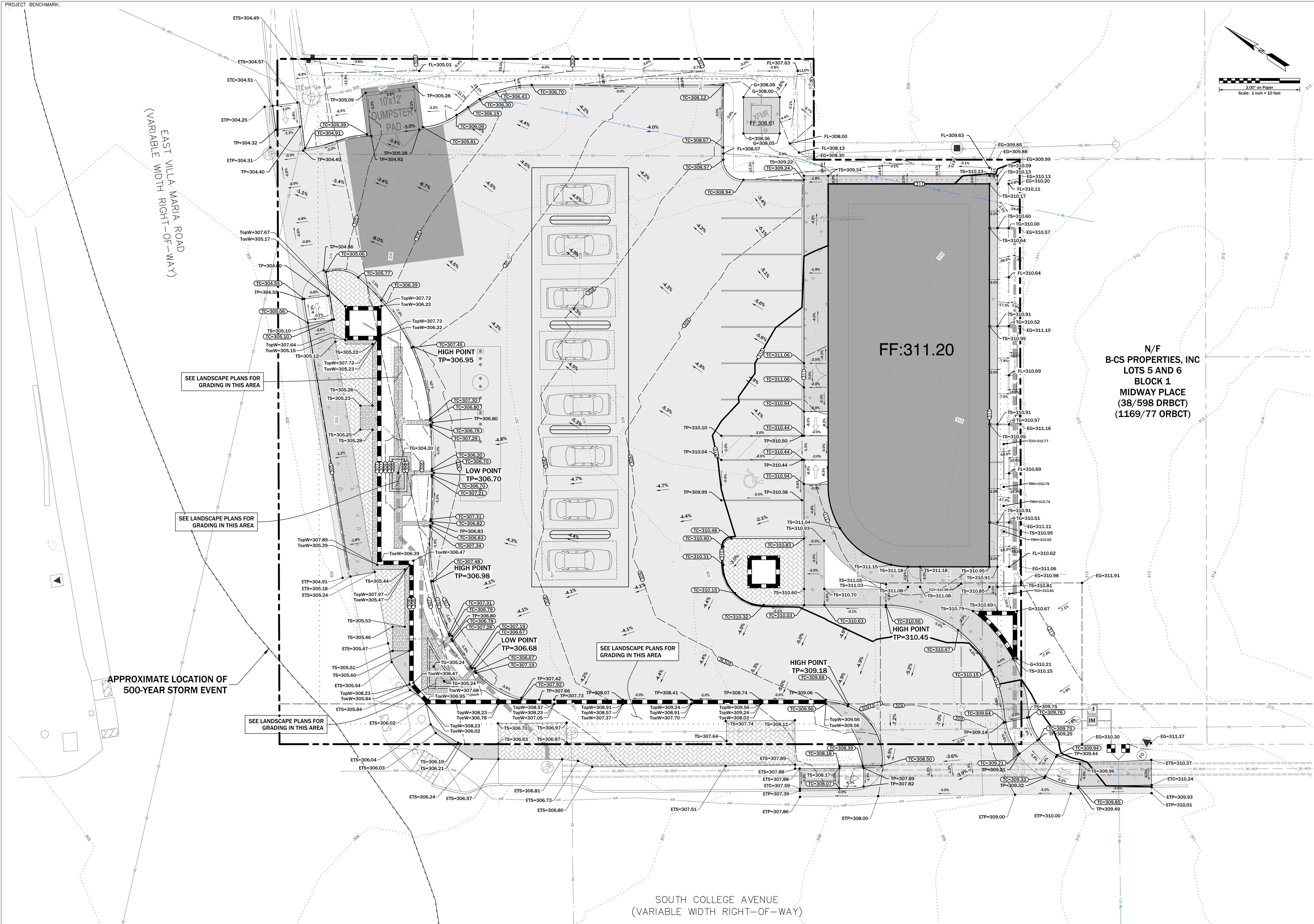
**LEGEND**

- EX. PAVEMENT/SW TO BE REMOVED
- EX. BLDG./FOUNDATION TO BE REMOVED



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 NOVEMBER 2023  
 Drawn By: TTE  
 Checked By: VM  
 Prepared For:  
 Vijay Kumar  
 Vishnu LLC  
 4305 College Station, Texas  
 College Station, Texas 77845  
 Revisions  
**DEMOLITION PLAN**  
**3201 SOUTH COLLEGE AVENUE 0.689 ACRE TRACT**  
**DP**





**MITCHELL**  
**MM**  
**MORGAN**

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Use Only. Prepared by:  
Vijay Kumar, P.E.  
No. 77868

NOVEMBER 2023  
Drawn By: TIF VM  
Checked By: VM

Prepared For:  
Vijay Kumar  
El Elahim LLC  
4308 Egmont Pl.  
College Station, Texas  
77845

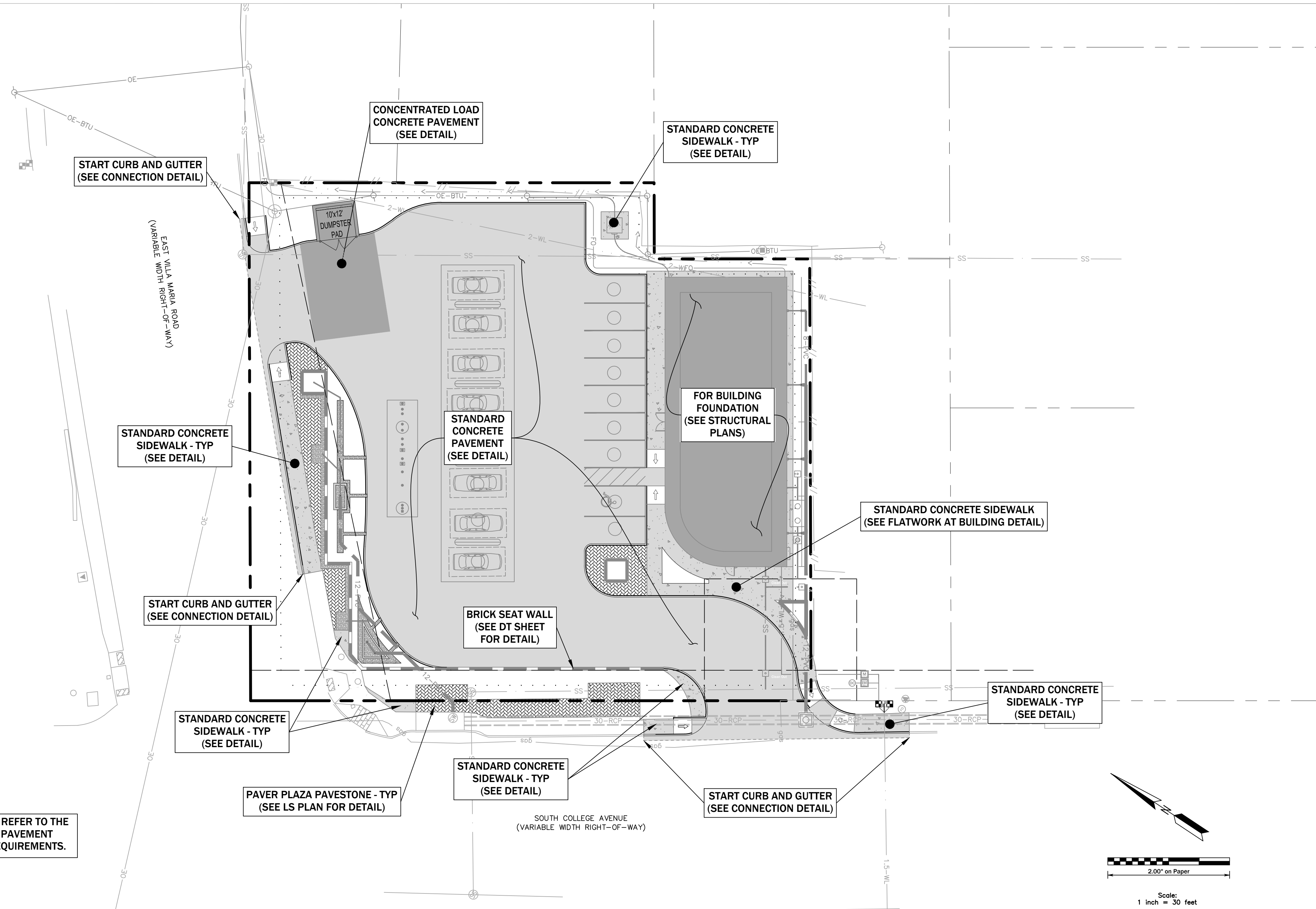
Revisions

**GRADING PLAN**

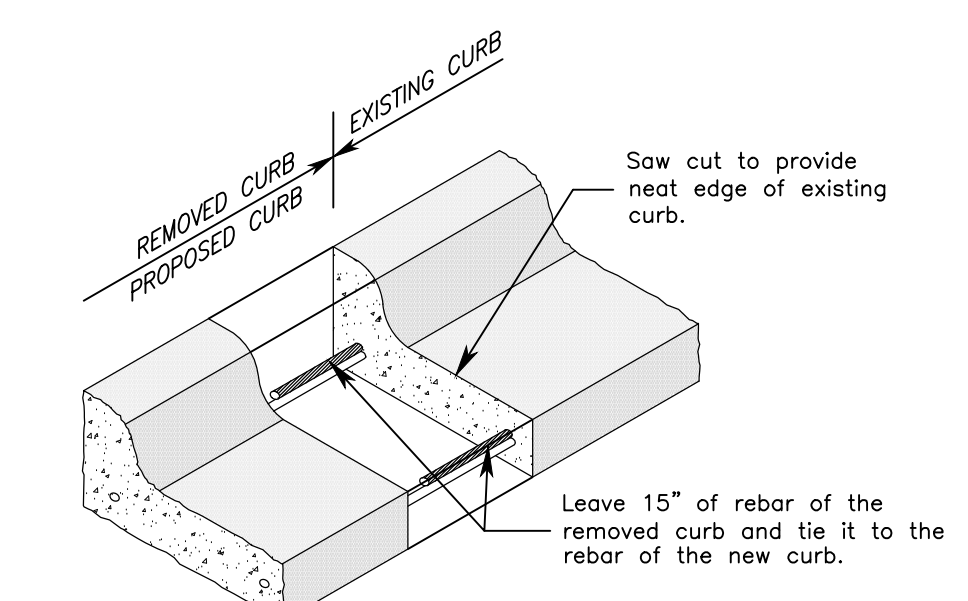
**3201 SOUTH COLLEGE AVENUE 0.689 ACRE TRACT**

**GP**

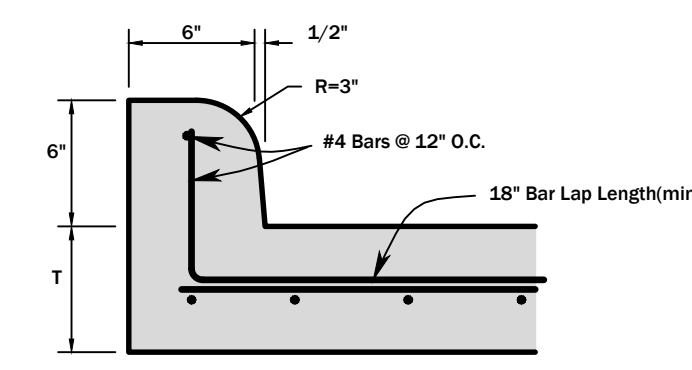




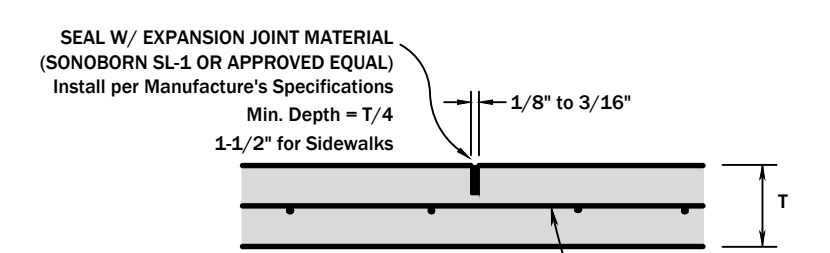
NOTE: CONTRACTOR SHALL REFER TO THE GEOTECH REPORT FOR ALL PAVEMENT AND SITE PREPARATION REQUIREMENTS.



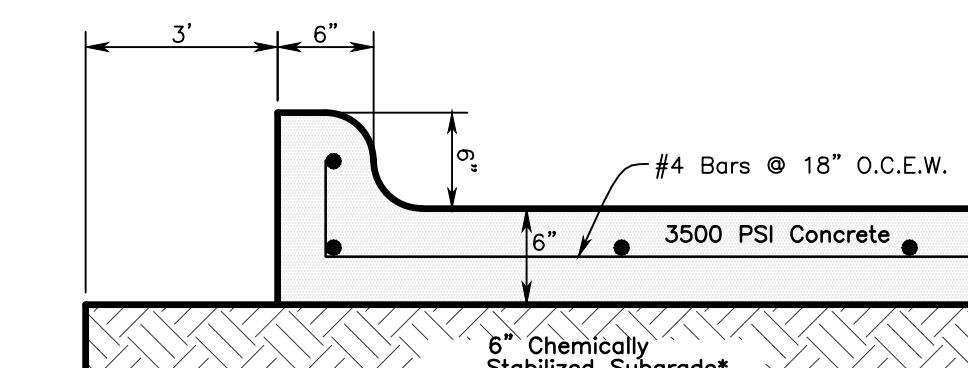
**CONNECT TO EXISTING CURB DETAIL**  
NTS



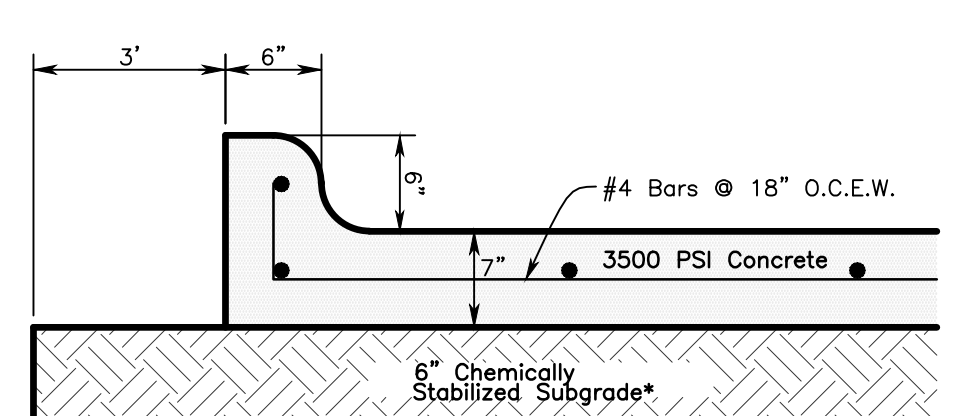
**TYPE II CURB**  
FOR USE WITH CONCRETE PAVEMENT OR APRON ALL CURBS SHALL BE CAST MONOLITHICALLY WITH CONCRETE PAVEMENT EXCEPT IN INTERSECTION RADII WHERE REBAR SHALL BE LEFT PROTRUDING FROM THIS INITIAL POUR.



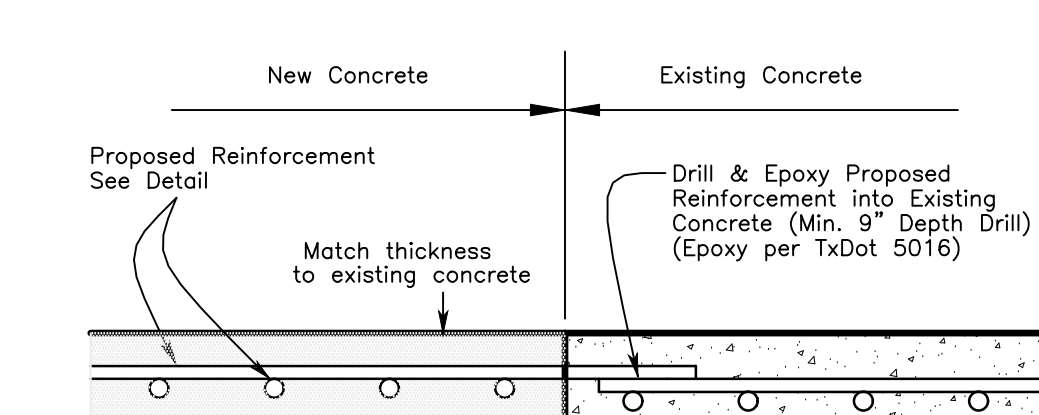
**CONTRACTION JOINT**  
15' spacing



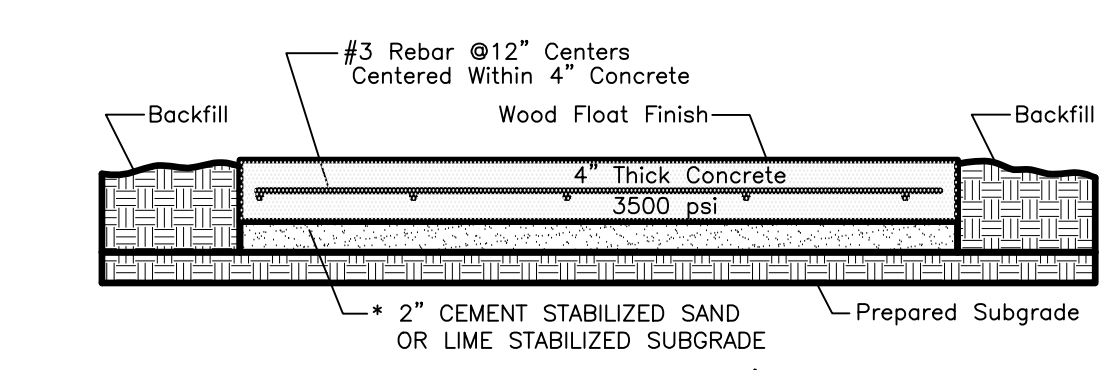
**STANDARD CONCRETE PAVEMENT DETAIL**  
Expansion Joints @ 60' o.c.  
Contracting Joints @ 15' o.c.  
• REFER TO GEOTECH REPORT



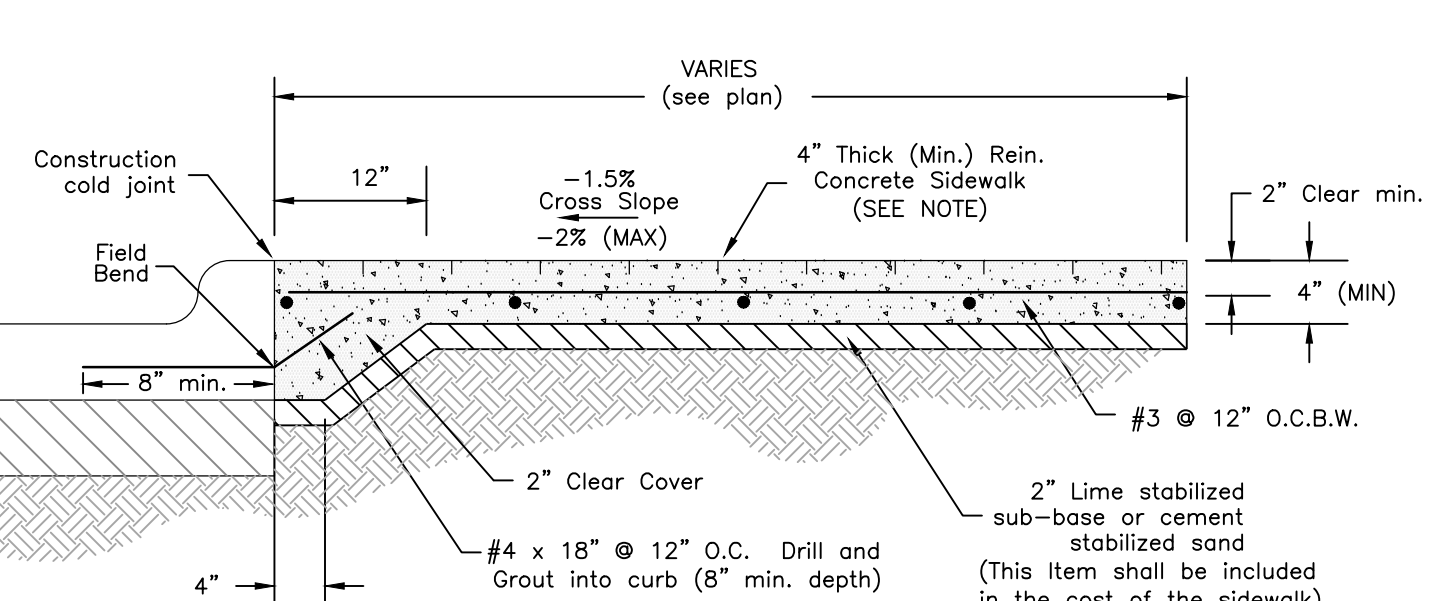
**CONCENTRATED LOAD CONCRETE PAVEMENT DETAIL**  
Expansion Joints @ 60' o.c.  
Contracting Joints @ 15' o.c.  
• REFER TO GEOTECH REPORT



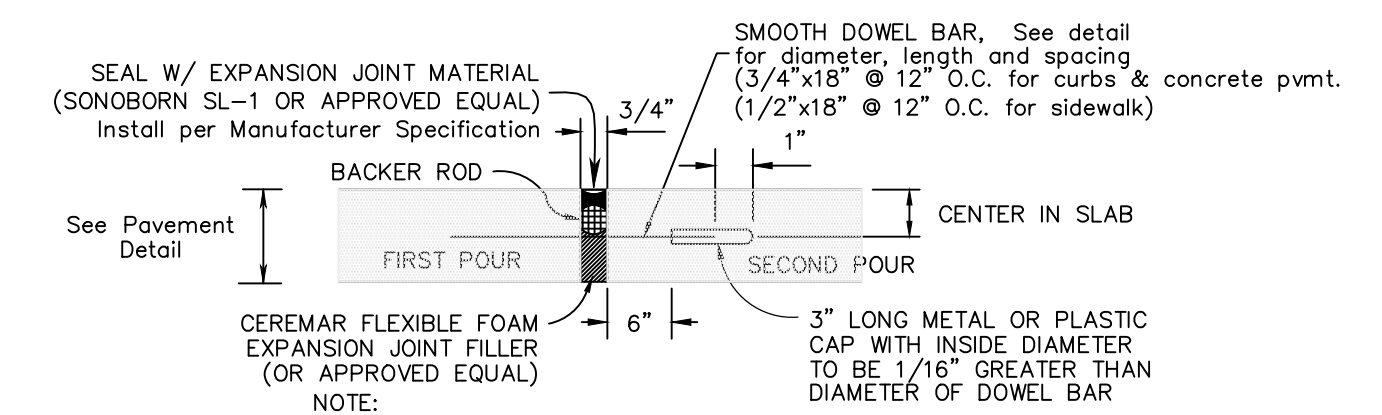
**CONNECT TO EXISTING CONCRETE DETAIL**  
NTS



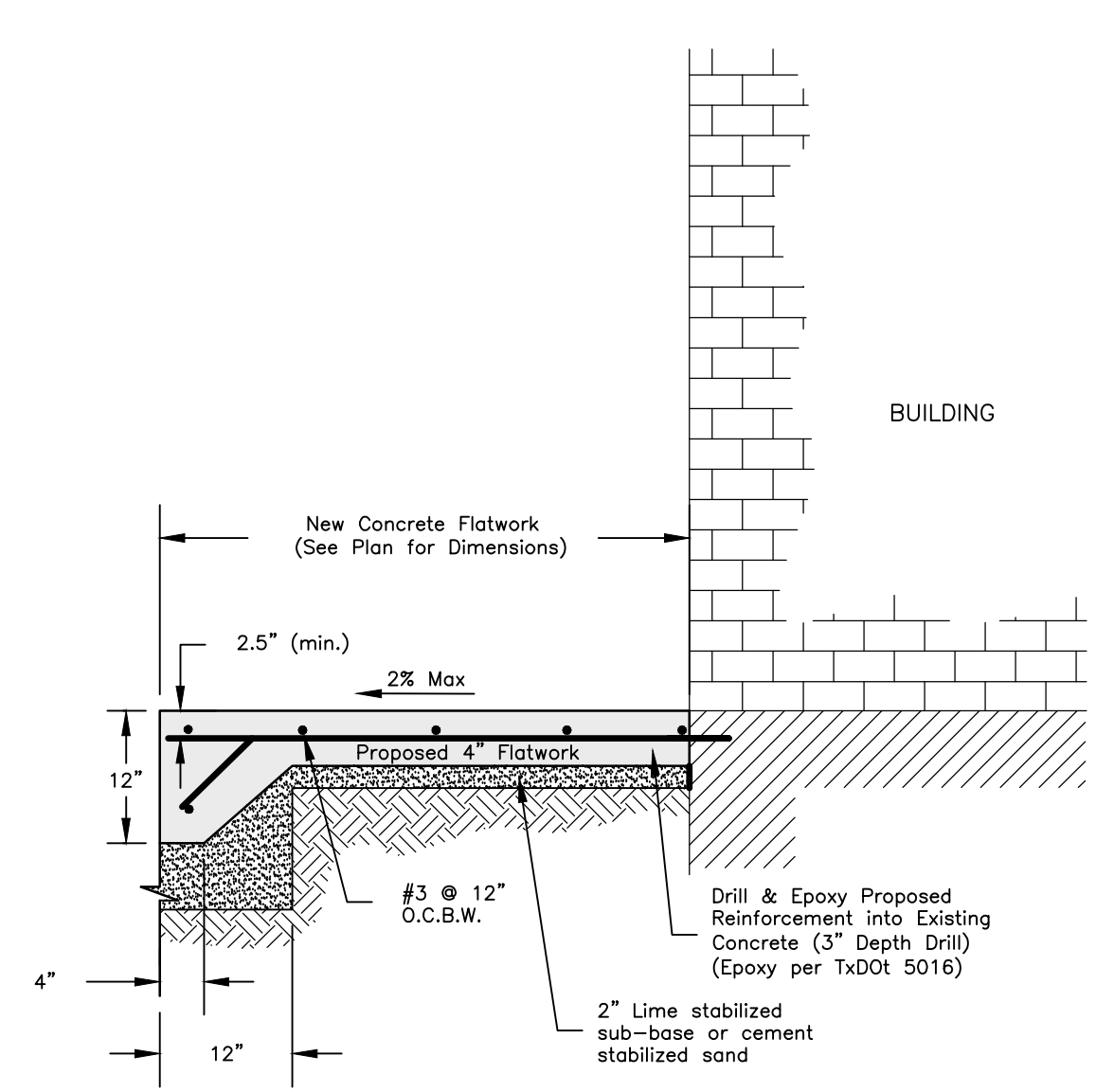
**STANDARD CONCRETE SIDEWALK DETAIL**  
NTS  
• 5" CONCRETE ON PREPARED SUBGRADE IS ACCEPTABLE.



**CONCRETE SIDEWALK NEXT TO CURB**  
NTS



**EXPANSION JOINT**  
(60' MAX. SPACING UNLESS OTHERWISE INDICATED IN PLANS)



**FLATWORK AT BUILDING DETAIL**  
NTS

**LEGEND:**

	CONCRETE SIDEWALK
	STANDARD CONCRETE PAVEMENT (6" THICKNESS) - REF. GEOTECH REPORT
	CONCENTRATED LOAD PAVEMENT (7" THICKNESS) - REF. GEOTECH REPORT
	FOUNDATION PAVEMENT - REF. STRUCTURAL PLANS

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Vernon J. Morgan, P.E.  
No. 77845

NOVEMBER 2023  
Drawn By: TTE  
Checked By: VM

Prepared For:  
Vijay Kumar  
Johnim LLC  
4306 Earl Rudder Fwy. S.  
College Station, Texas  
77845

Revisions

**PAVING PLAN**

3201 SOUTH COLLEGE AVENUE 0.689 ACRE TRACT

PP



**GENERAL NOTES:**

ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODED OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARED AREAS SHALL BE SEEDED OR SODED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.

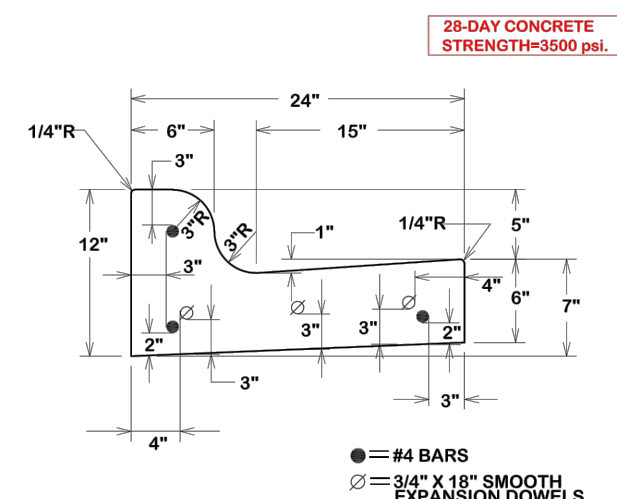
APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.

ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.

ALL TRAFFIC SIGNALS AND APPURTENANCES, AND ALL PAVEMENT MARKINGS AND MARKERS SHALL BE IN ACCORDANCE WITH TxDOT STANDARDS.

REFER TO SPEC 31 17 23.23 (PAVEMENT MARKINGS) FOR ADDITIONAL LOCAL REQUIREMENTS.

NOTE:  
TYPE "G" EXPANSION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 40' APART AND AT ALL RADIUS POINTS, P-T, S, AND P-C-S. TYPE "H" CONTRACTION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 10' APART.



**TYPICAL COMBINED CURBS & GUTTER SECTION**  
 DATE: FEB. 2021  
 B/C/S UNIFIED STANDARD DETAIL  
 DETAIL NO. ST1-01  
 CITY OF COLLEGE STATION

**GENERAL NOTES:**

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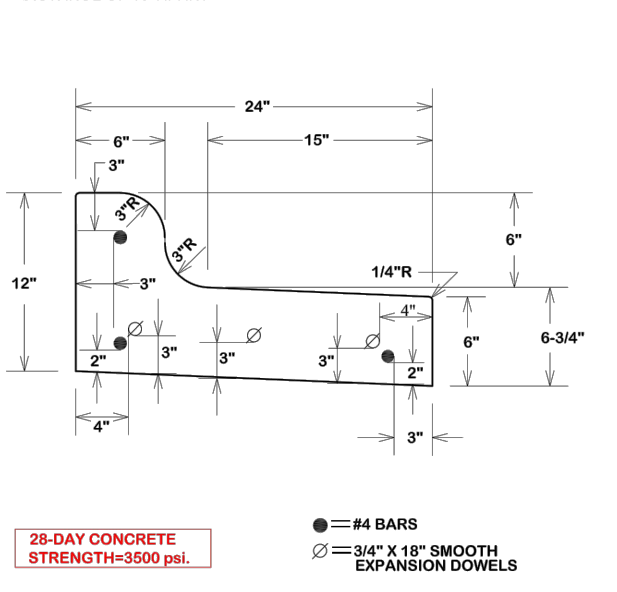
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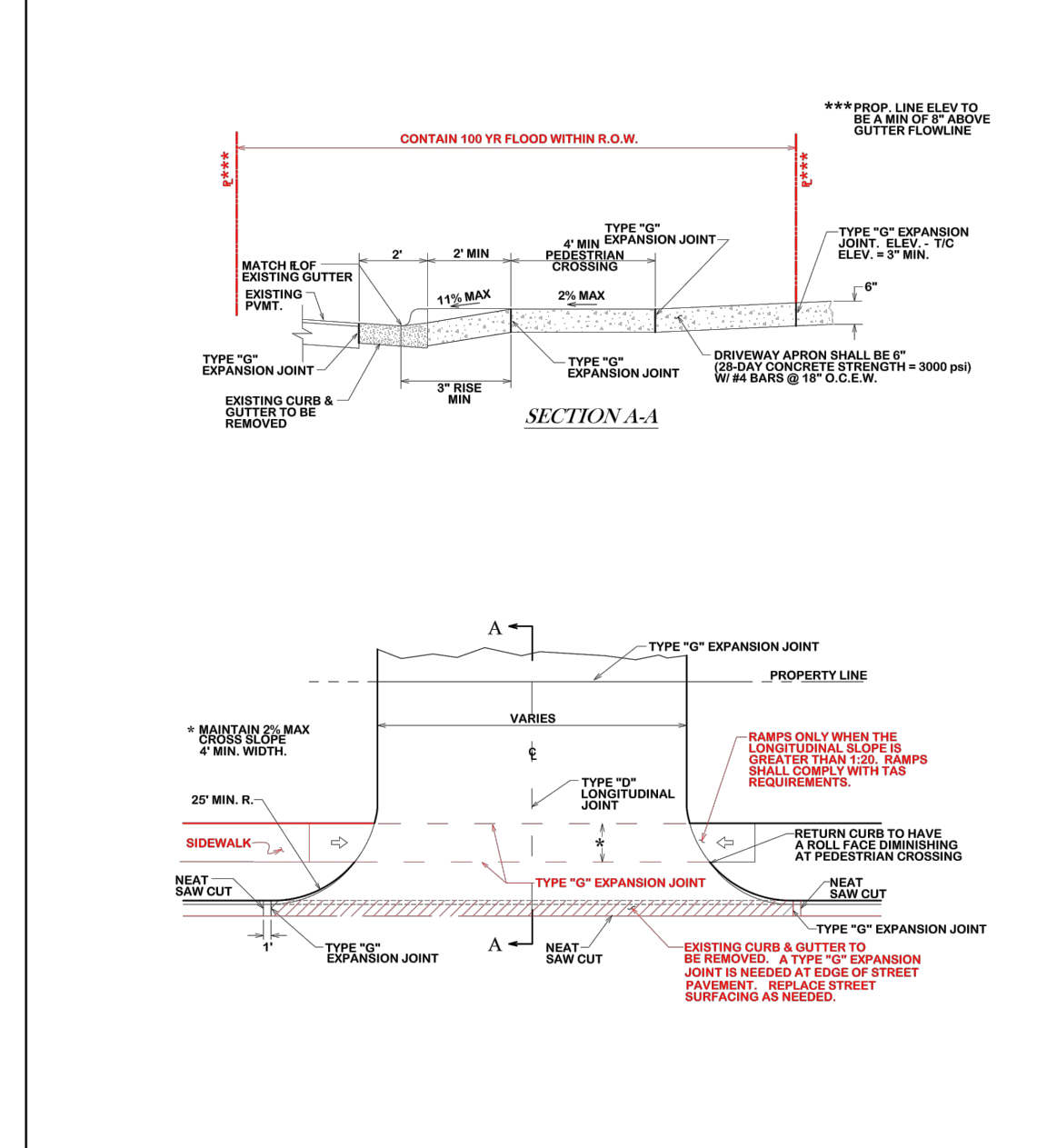
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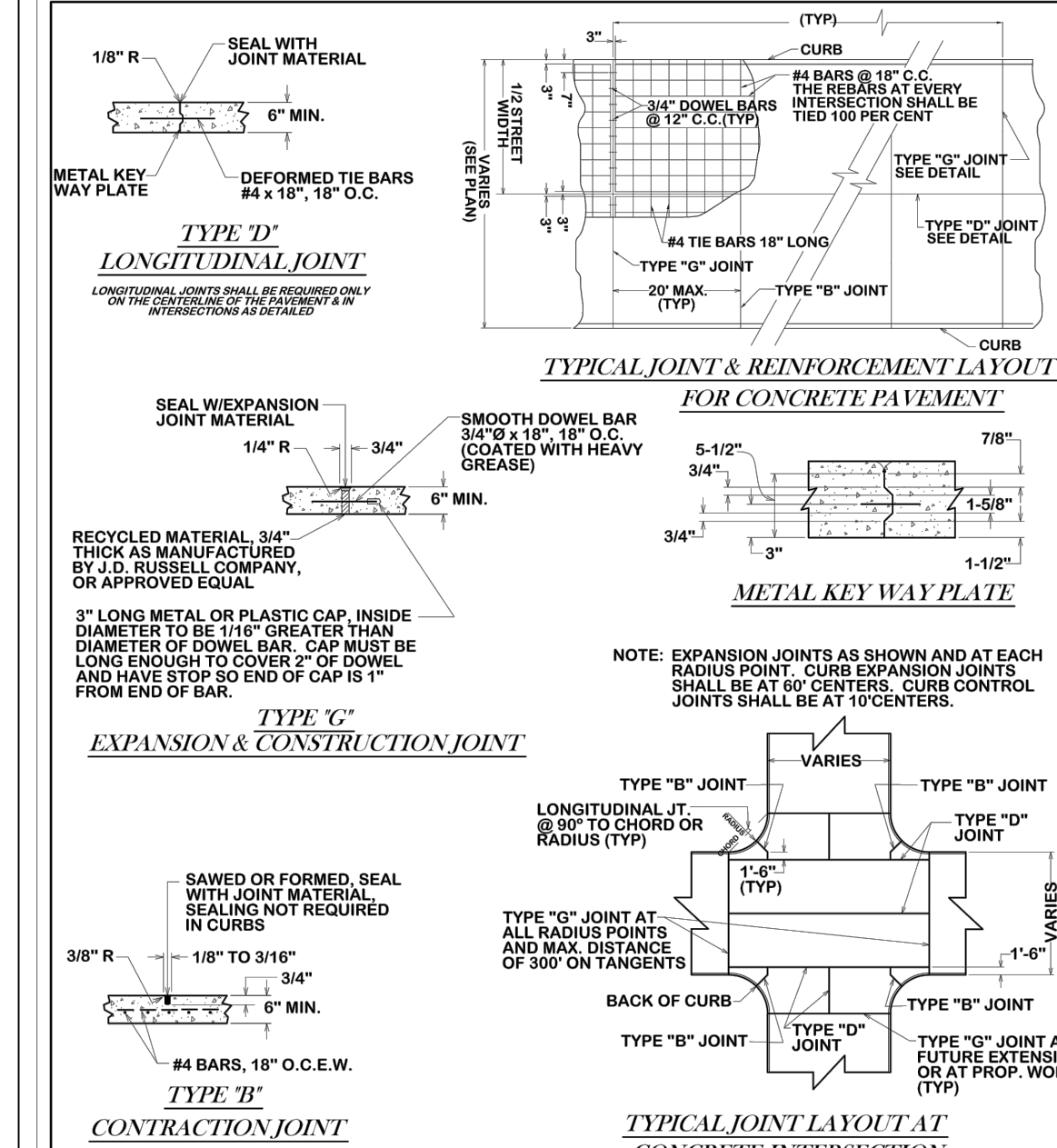
NOTE:  
TYPE "G" EXPANSION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 40' APART AND AT ALL RADIUS POINTS, P-T, S, AND P-C-S. TYPE "H" CONTRACTION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 10' APART.



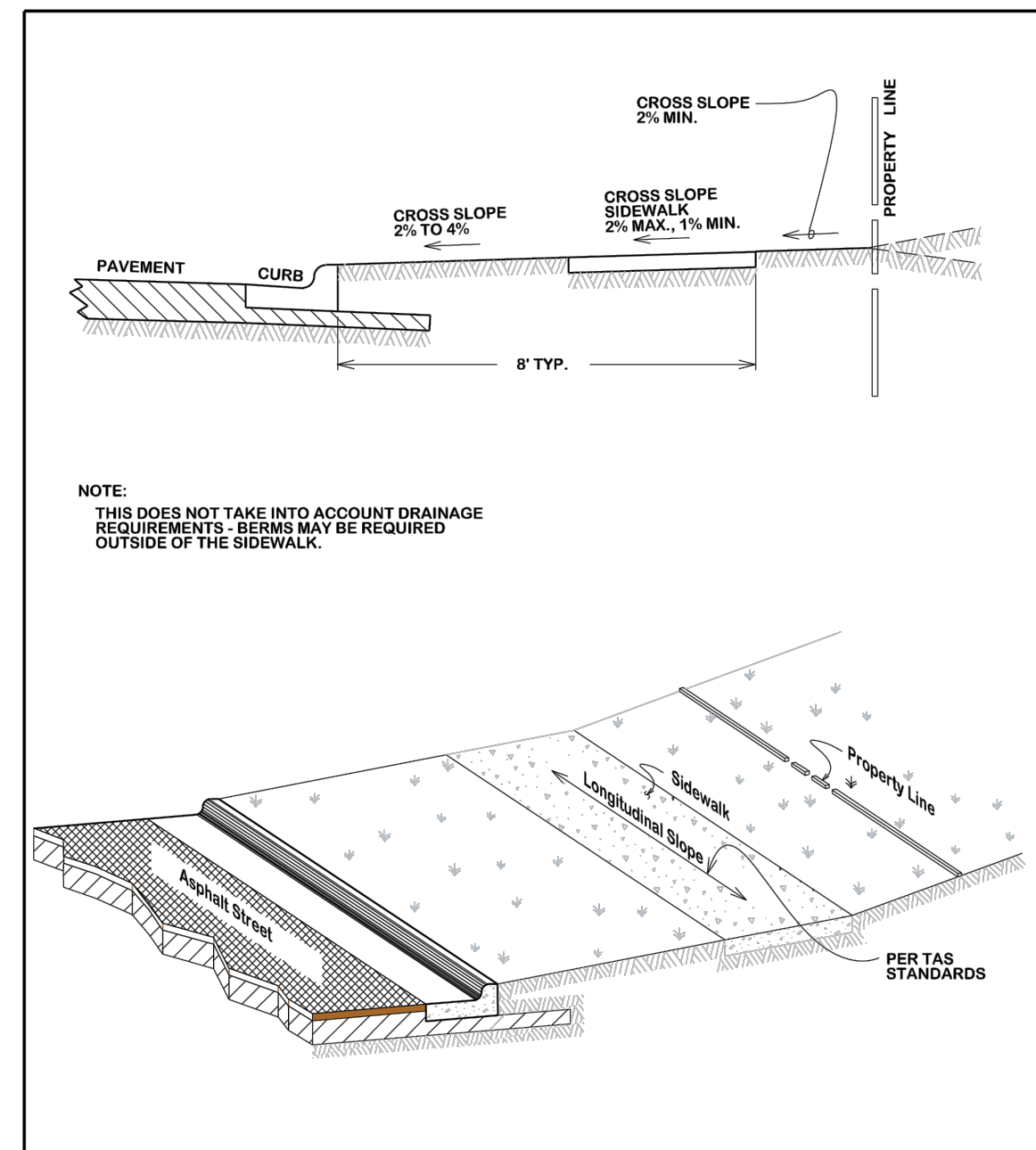
**TYPICAL COMBINED SPILL CURB**  
 DATE: FEB. 2021  
 B/C/S UNIFIED STANDARD DETAIL  
 DETAIL NO. ST1-04  
 CITY OF COLLEGE STATION



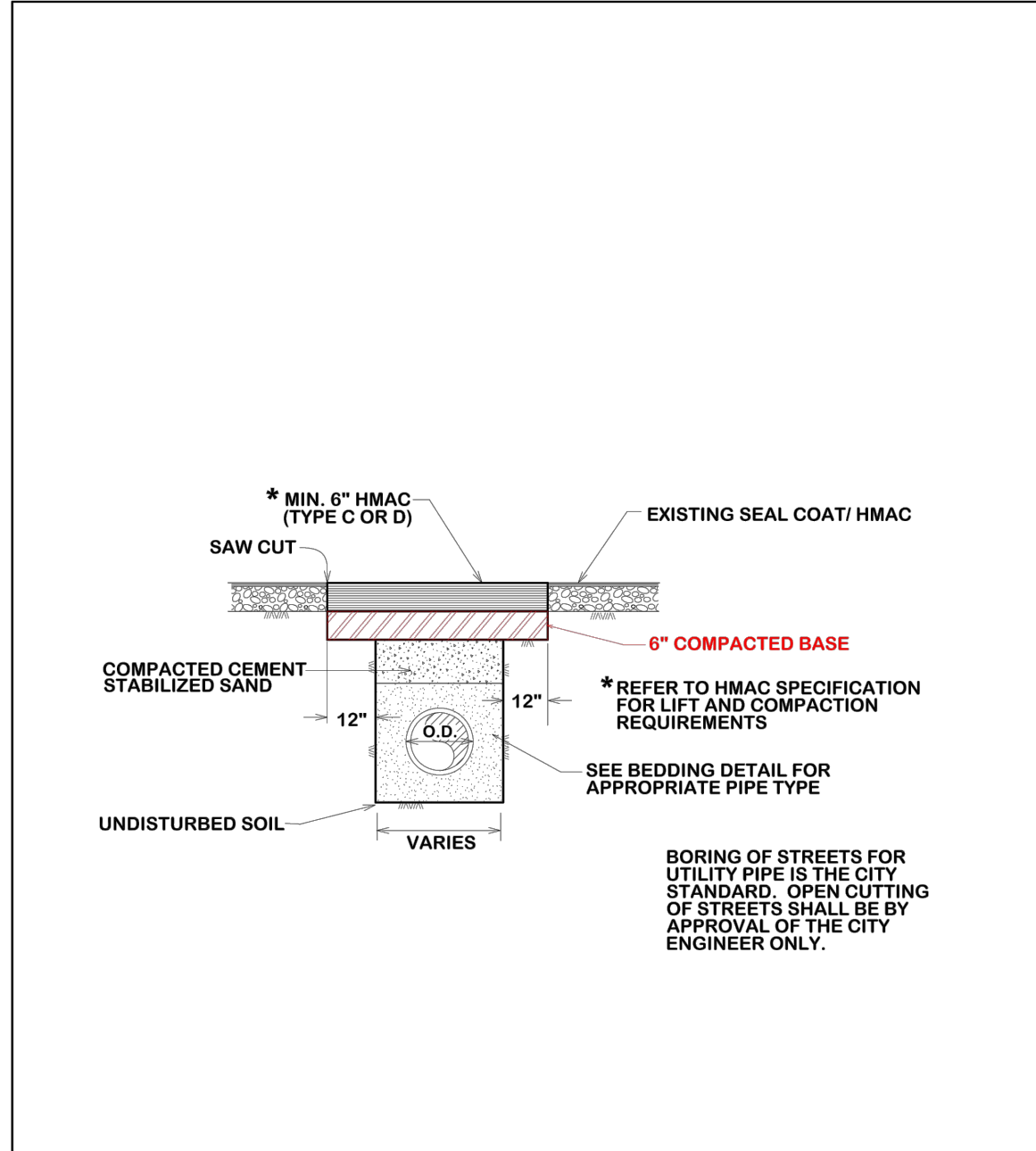
**COMMERCIAL DRIVEWAY**  
 DATE: FEB. 2021  
 B/C/S UNIFIED STANDARD DETAIL  
 DETAIL NO. ST2-03  
 CITY OF COLLEGE STATION



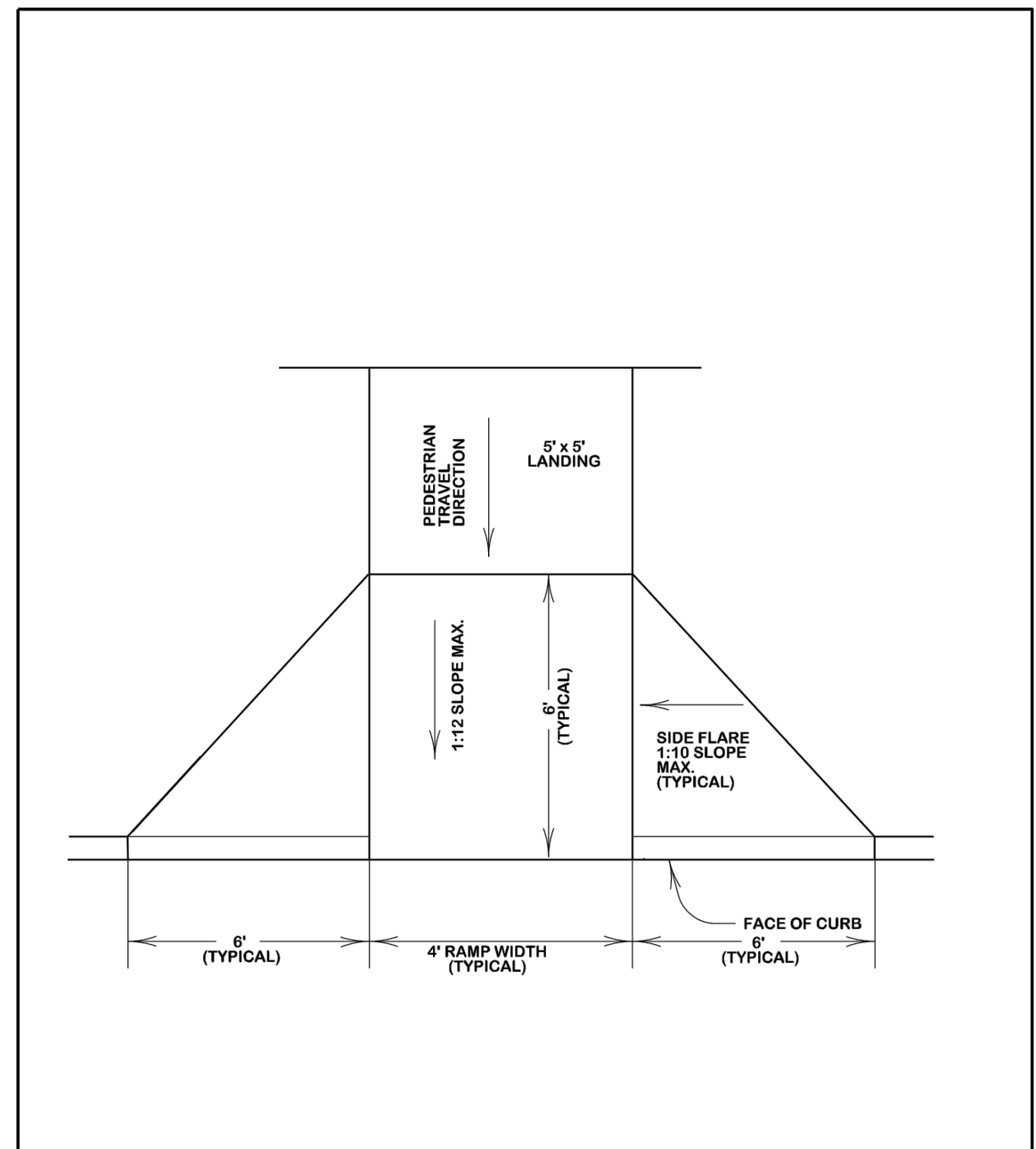
**CONCRETE PAVEMENT JOINT LAYOUT**  
 DATE: FEB. 2018  
 B/C/S UNIFIED STANDARD DETAIL  
 DETAIL NO. ST3-00  
 CITY OF COLLEGE STATION



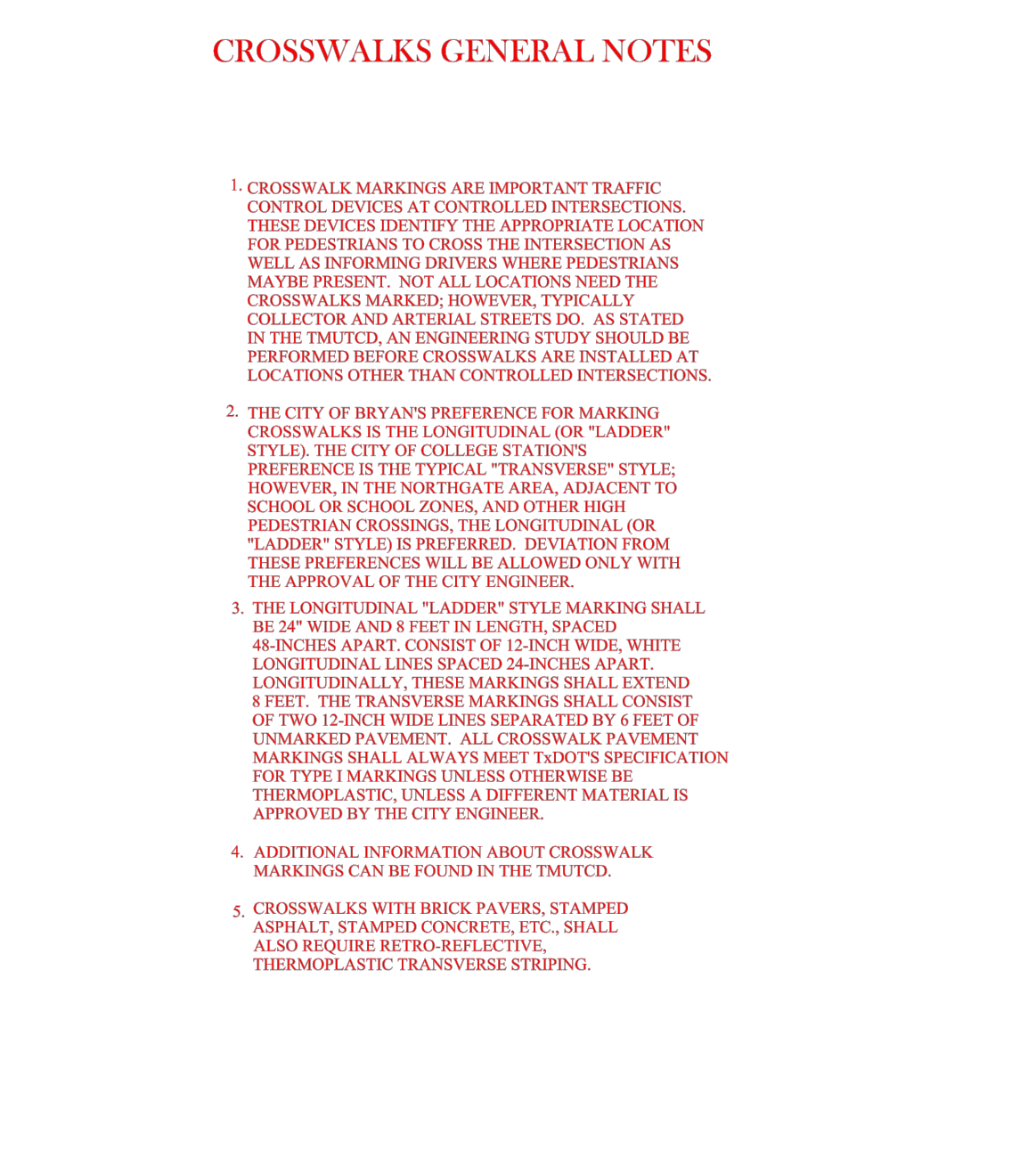
**SIDEWALK SLOPE REQUIREMENTS**  
 DATE: AUG. 2012  
 B/C/S UNIFIED STANDARD DETAIL  
 DETAIL NO. SW1-00  
 CITY OF COLLEGE STATION



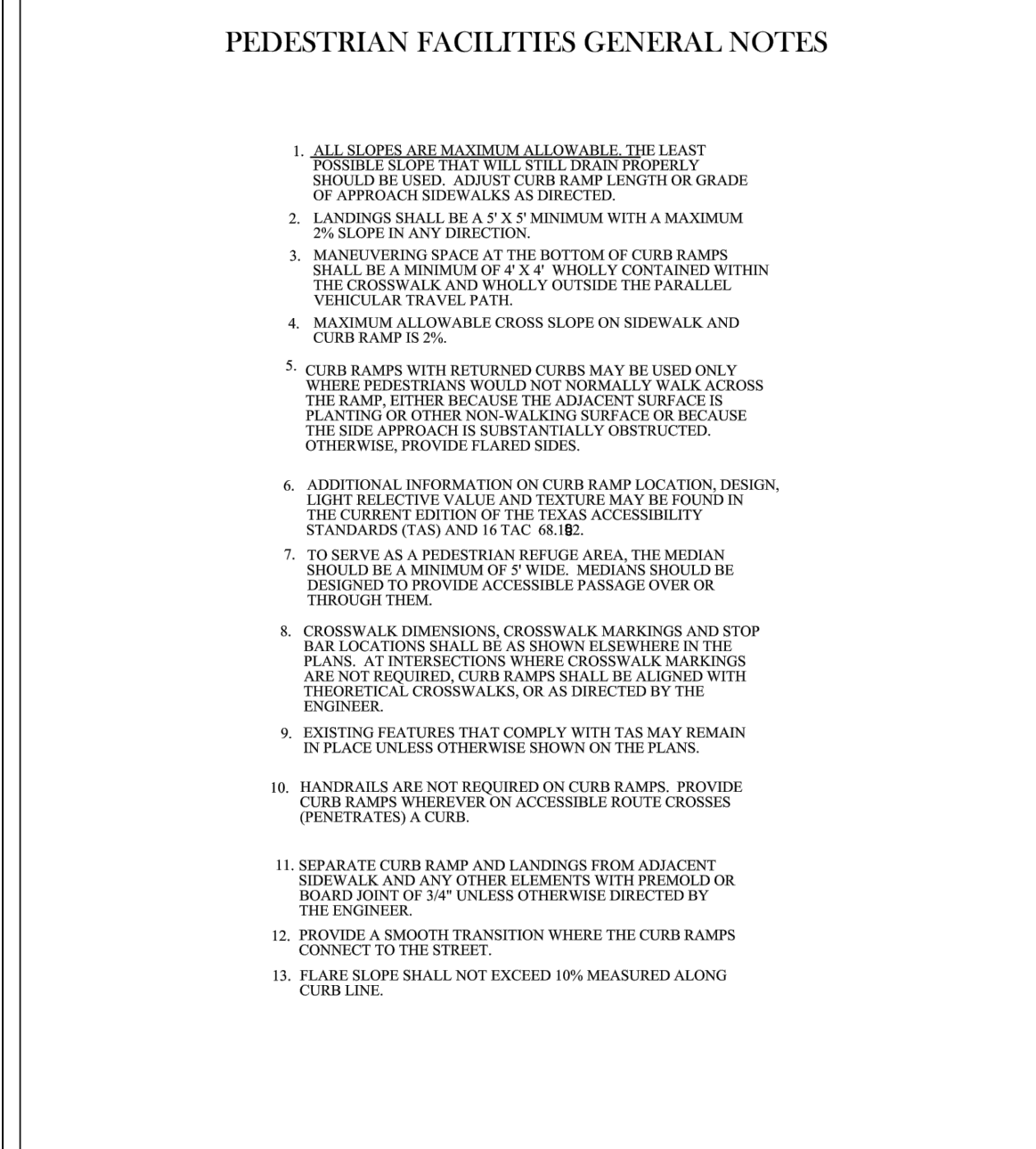
**OPEN CUT SEAL COAT/OVERLAY STREET**  
 DATE: FEB. 2021  
 B/C/S UNIFIED STANDARD DETAIL  
 DETAIL NO. ST4-01  
 CITY OF COLLEGE STATION



**TYPICAL AMBULATORY RAMP W/ FLARED WINGS**  
 DATE: AUG. 2012  
 B/C/S UNIFIED STANDARD DETAIL  
 DETAIL NO. SW2-02  
 CITY OF COLLEGE STATION



**CROSSWALK GENERAL NOTES**  
 DATE: DECEMBER 2020  
 B/C/S UNIFIED STANDARD DETAIL  
 DETAIL NO. SW2-GN01  
 CITY OF COLLEGE STATION



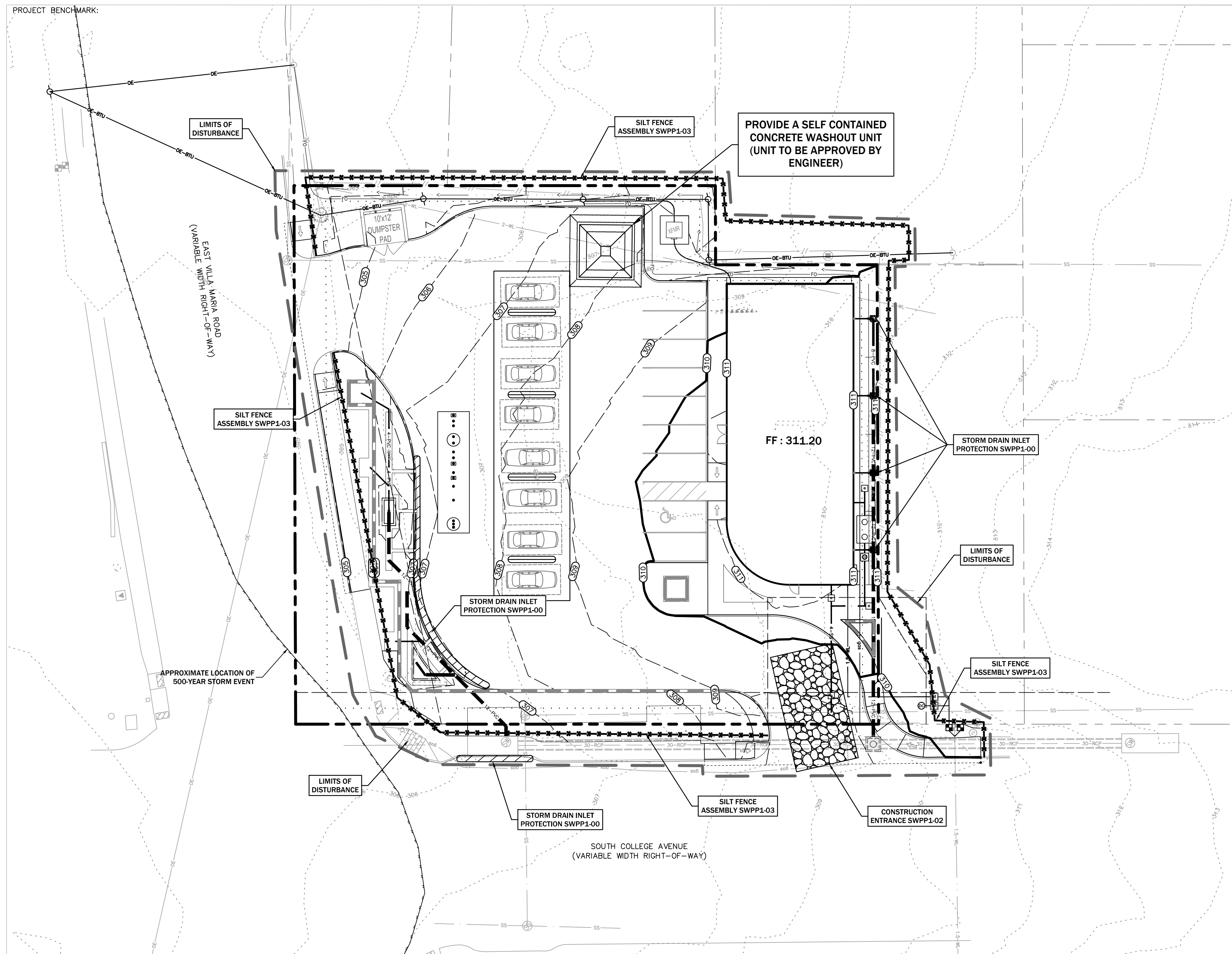
**PEDESTRIAN FACILITIES GENERAL NOTES**  
 DATE: DECEMBER 2020  
 B/C/S UNIFIED STANDARD DETAIL  
 DETAIL NO. SW2-GN02  
 CITY OF COLLEGE STATION

**MITCHELL M&M MORGAN**  
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 NOVEMBER 2023  
 Drawn By: TTE  
 Checked By: VM  
 Prepared For:  
 Vijay Kumar  
 John L. LLC  
 4306 College Station, Texas  
 77845  
 Revisions  
**PAVING DETAILS**  
 3201 SOUTH COLLEGE AVENUE 0.689 ACRE TRACT  
**PD**









**SWPP Information:**

**Nature of Construction Activity:**  
Drainage, utility, and pavement improvements for building construction. Potential pollutants and sources - Sediment from excavation and equipment movement around the site.

**Schedule of Events:**  
1. Install silt fencing.  
2. Install stabilized construction exit.  
3. Clear and grub  
4. Install utilities.  
5. Install pavement.  
6. Complete grading and install permanent seeding.  
7. When all construction activity is completed the site is stabilized. Remove silt fence and re-seed any area disturbed during construction and assure a healthy ground cover.

**Area of Disturbance:**  
During the construction of the pavement, drainage, and utility improvements the entire lot will be disturbed except for the existing structures and the grass area behind the existing building.

**Structural Controls:**  
Temporary stabilization - areas where construction activity temporarily ceases for at least 21 days will be stabilized with temporary seed no later than 14 days from the last construction activity in that area all proposed fill material will be seeded.

Silt fence and/or hay bales will be installed at all outfalls, areas where water runs off the site.

**Storm Water Management:**  
Storm water drainage will be controlled by existing grassed areas adjacent to the site. All areas affected by construction will be fine graded and have permanent seeding. The remainder of the area will remain in its natural state.

**Offsite vehicle tracking:**  
A stabilized construction entrance will be provided to reduce vehicle tracking of sediments. The paved street adjacent to the site entrance will be swept to remove any excess mud, dirt, or rock tracked from the site. Dump trucks hauling material from the construction site will be covered with a tarpaulin.

**Certification of Compliance with State and Local Regulations:**  
This storm water pollution prevention plan reflects the city's/state's requirements for storm water management, erosion, and sediment control. To ensure compliance, this plan was prepared in accordance with the city's drainage policy.

**Maintenance/Inspection Procedures:**  
These are the inspection and maintenance practices that will be used to maintain erosion and sediment controls:  
- All control measures will be inspected at least once every 14 days and following any storm event of 0.50 inches or greater.  
- All BMP's will be maintained in good working order; a repair is necessary it will be initiated within 24 hours of the report.  
- Built up sediment will be removed from silt fence when it has reached one-half the height of the fence.  
- Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.  
- Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.  
- A maintenance inspection report will be made after each inspection. The inspection report form will be prepared by the site superintendent and filed for record.  
- A site superintendent will be responsible for inspections, maintenance and repair activities, and filling out the inspection and maintenance report.

**Non-storm Water Discharges:**  
It is expected that the following non-storm water discharges will occur from the site during the construction period:  
-Water from water line flushing

**Site Description:**

**Project name and location:**  
W Villa Maria/S College Gas Station  
Bryan, Brazos County, Texas

**Developer:**  
El Elohim, LLC c/o Vijay Kumar  
4308 Egremont PL  
College Station, Texas 77845

The site is not located on Indian lands.

Latitude: 30° 38' 22.6" N  
Longitude: 96° 21' 27.8" W

MS4 operator name: City of Bryan, Texas  
Receiving water body: Burton Creek, Bryan, Texas  
Estimated area to be disturbed: 0.79 acres

The storm water pollution prevention plan shall be in compliance with state and local sediment and erosion plans.

**Operator Requirements:**  
The operator shall submit a NOI to TCEQ (when applicable) and a copy to the operator and post a copy at the construction site in a location where it is readily available for viewing prior to commencing construction activities, and maintain the notice in that location until completion of the construction activity.

The operator shall provide a copy of NOI to the operator of the municipal separate storm sewer system receiving the discharge, at least two (2) days prior to commencing construction activities.

The operator shall submit a NOT to TCEQ (when applicable) and a copy to the operator of the municipal storm sewer system once the final stabilization has been achieved and the temporary erosion controls have been removed.

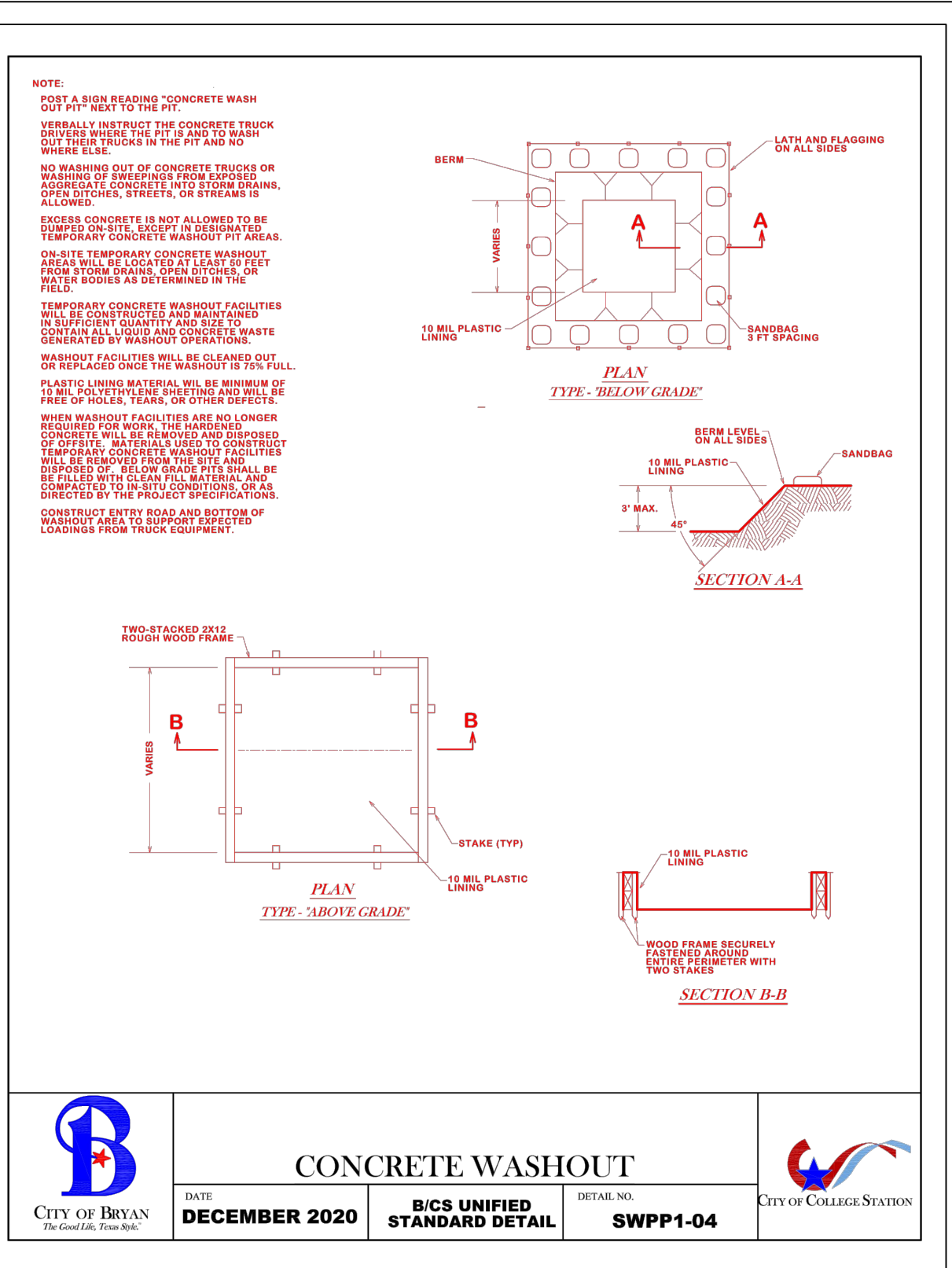
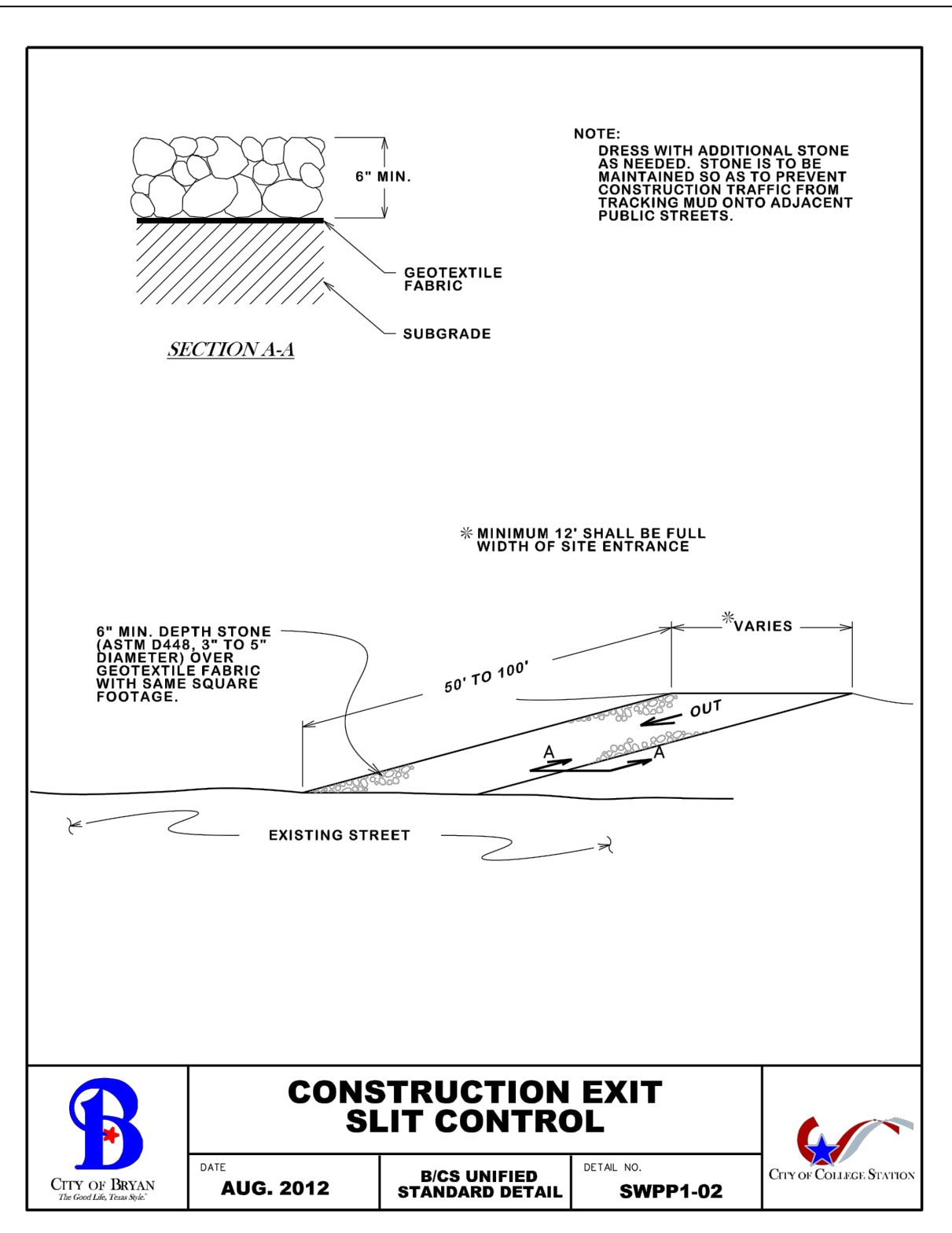
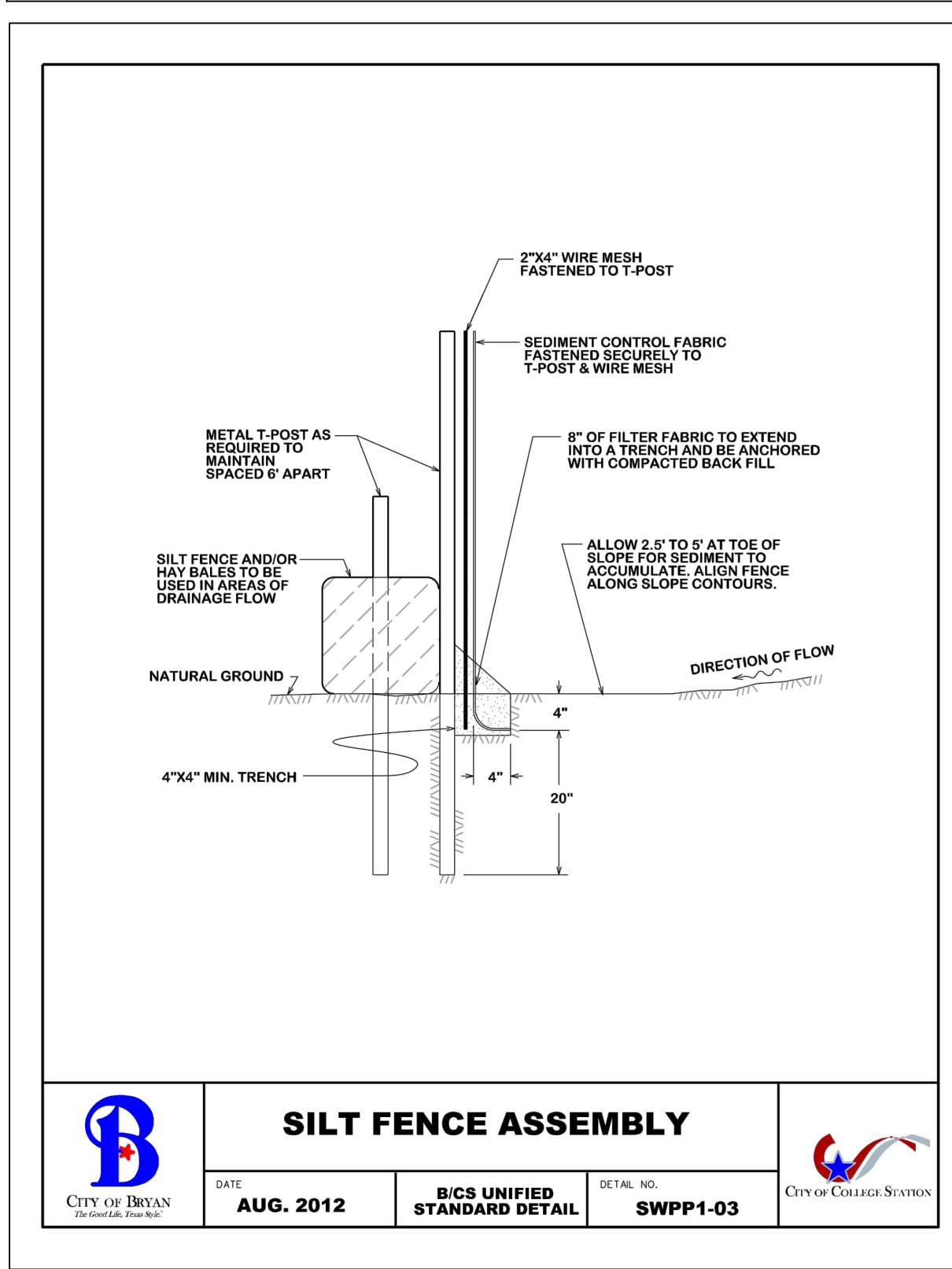
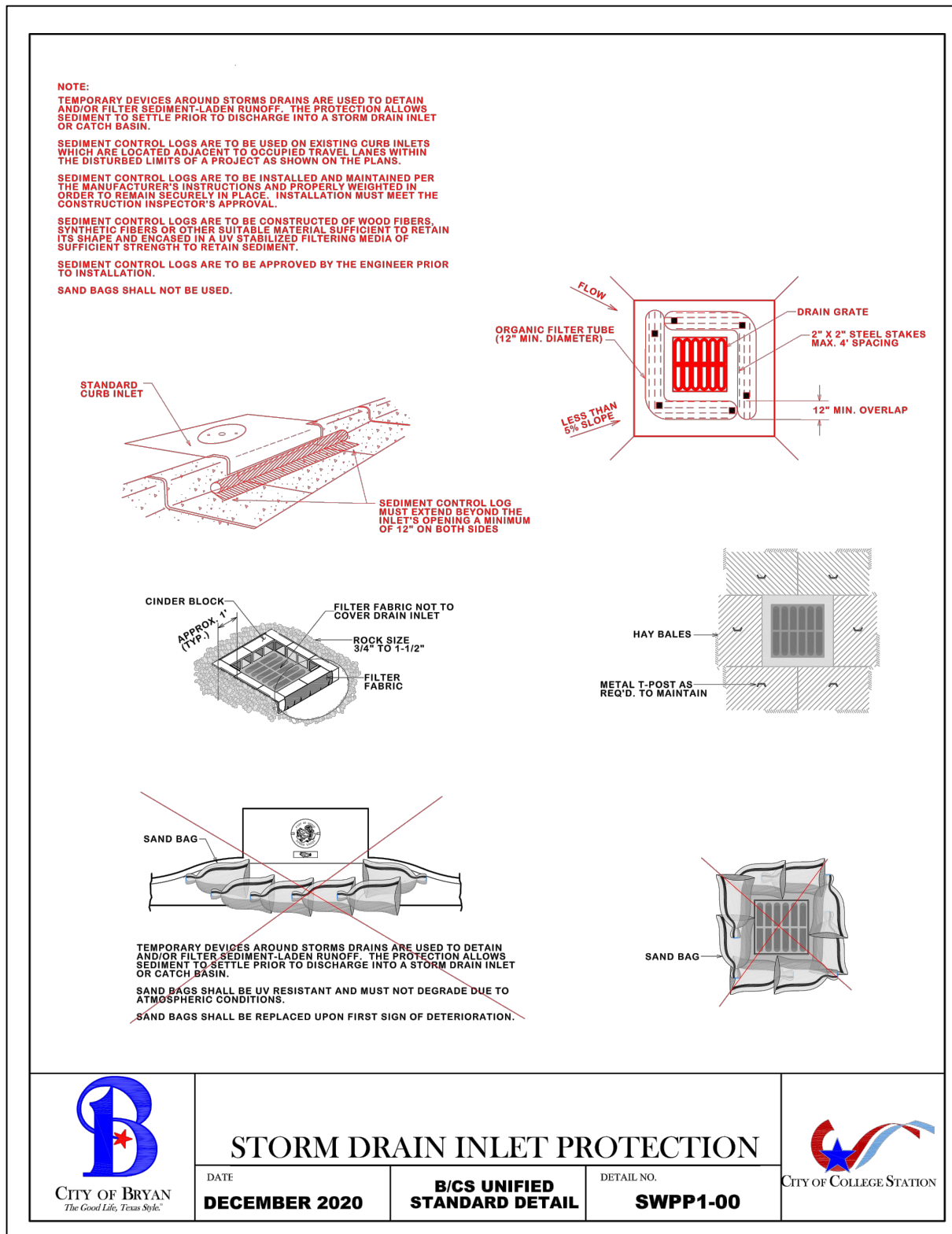
Controls must be developed to limit, to the extent practicable, offsite transport of litter, construction debris and construction materials.

**Operator Inspection Requirements:**  
The following records must be maintained and either attached to or referenced in the storm water plan:  
The dates when major grading activities occur.  
The dates when construction activities temporarily or permanently cease on a portion of the site.  
The dates when stabilization measures are initiated.

A report summarizing the scope of the inspection, name and qualifications of personnel making the inspection, the dates of the inspection, and major observations must be made and retained with the storm water plan. Major observations should include:  
The locations of discharges of sediment or other pollutants from the site;  
Locations of BMP's that failed to operate as designed or proved inadequate for a particular location; and  
Location where additional BMP's are needed.

**Operator's Record Keeping:**  
The permittee must retain the following records for a minimum of 3 years from the date that a NOT is submitted:  
A copy of the storm water plan and  
All reports and actions required by this permit, including a copy of the construction site notice all data used to complete the NOI.

- SWPP PLAN NOTES:**
- All contractor vehicles, including employee's vehicles, shall park within the project site to minimize traffic on the public streets adjacent to the worksite entrance. Contractor will provide sufficient parking areas to accommodate his vehicles. Any areas disturbed by vehicular parking will be repaired to original condition prior to completion of project.
  - If required on the plans, the contractor shall maintain a vehicle wash down area of sufficient size and in a location to facilitate cleaning his vehicles prior to leaving the work site.
  - All areas where existing vegetation and grass cover have been bared by construction shall be adequately block sodded or hydromulched and watered until growth is established. In developed areas where grass is present, block sod will be required. Bared areas shall be seeded or sodded within 14 calendar days of last disturbance. All erosion control measures shall remain in place until acceptable vegetative growth is established after construction is complete and then removed by contractor.
  - Approved erosion control measures must be installed during the entire time earth has been bared by construction and shall stay in place until acceptable vegetative growth is established after construction is complete and then removed by the contractor.
  - All erosion control measures should be cleaned of silt after every rain event.
  - Approved erosion control measures must be installed during the entire time earth has been bared by construction
  - It is the responsibility of the contractor to use whatever means necessary to minimize erosion and prevent sediment from leaving the project site.
  - The contractor is responsible for implementing, inspecting and maintaining the erosion and sediment control devices.
  - Construction exit is to be dressed with additional rock as needed and maintain so as to prevent construction traffic from tracking mud onto adjacent public streets.
  - Inspection shall be performed every 14 days and every rainfall event of 1/2" or more. All erosion control devices shall be cleaned of silt (as needed) after every rain.
  - Structural controls shall be installed as soon after clearing as practical and maintained in good working order until the site is stabilized. Alternate structural controls may be utilized if approved by Engineer.
  - The contractor is responsible for complying with the TPDES General Permit No. TXR150000 requirements for construction sites.
  - The contractor shall coordinate with the owner to determine a temporary spoils, earthwork, and topsoil area for the site.
  - All areas that have a slope >15% shall be hydromulched (mix determined based upon season) upon completion of grading and contractor shall utilize a rolled single net straw erosion control blanket with poly netting (US-LS) as produced by US Erosion Control Products or approved equal to lay over the hydromulched slope. Contractor shall be responsible for watering and assuring 80% coverage in 21 days.
  - Contractor shall strip topsoil from the site prior to construction and stockpile and protect from contamination from other soils for later use onsite by the landscape contractor.



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NOVEMBER 2023  
Drawn By: TFC  
Checked By: VM  
College Station, Texas 77845

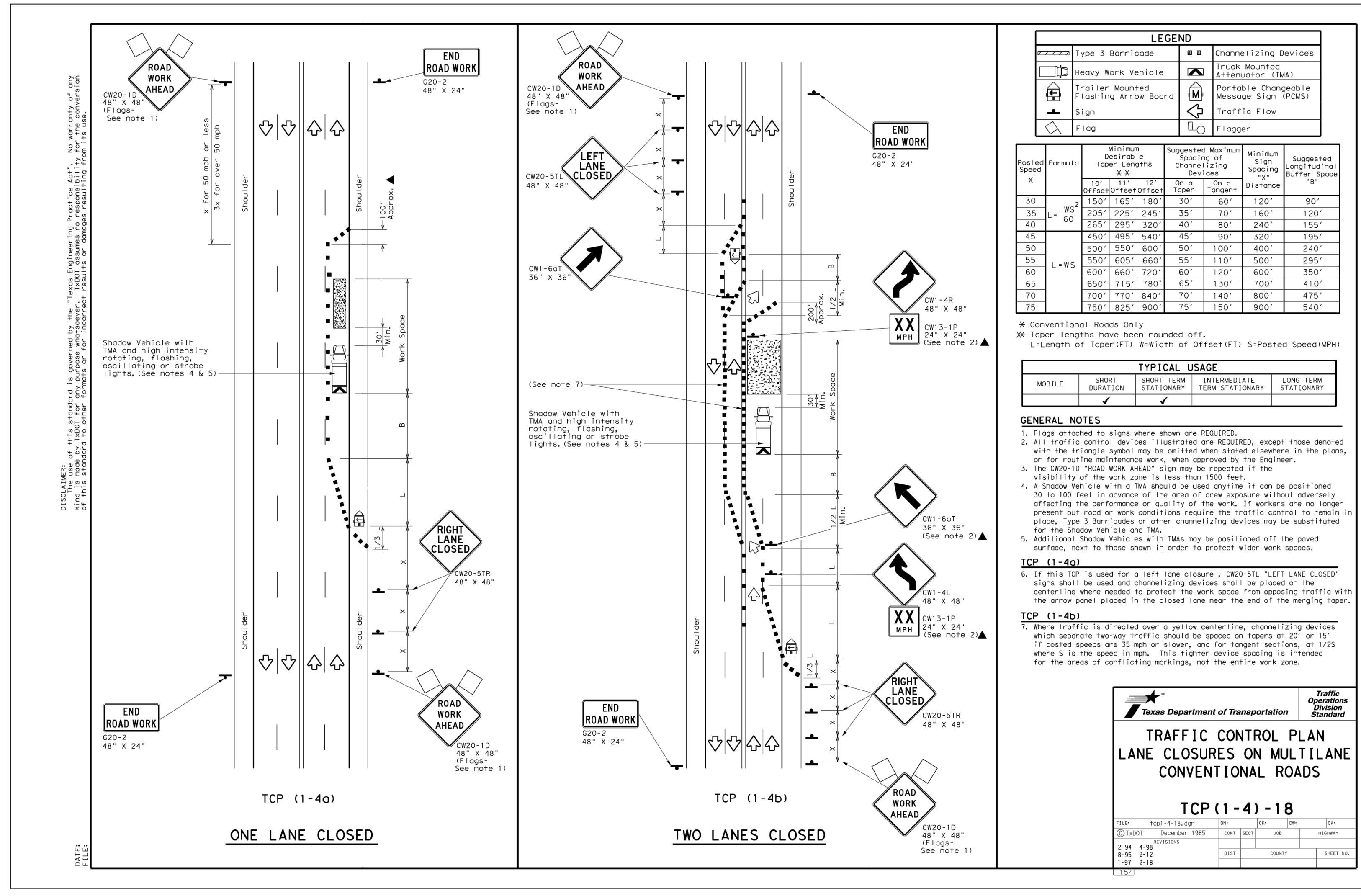
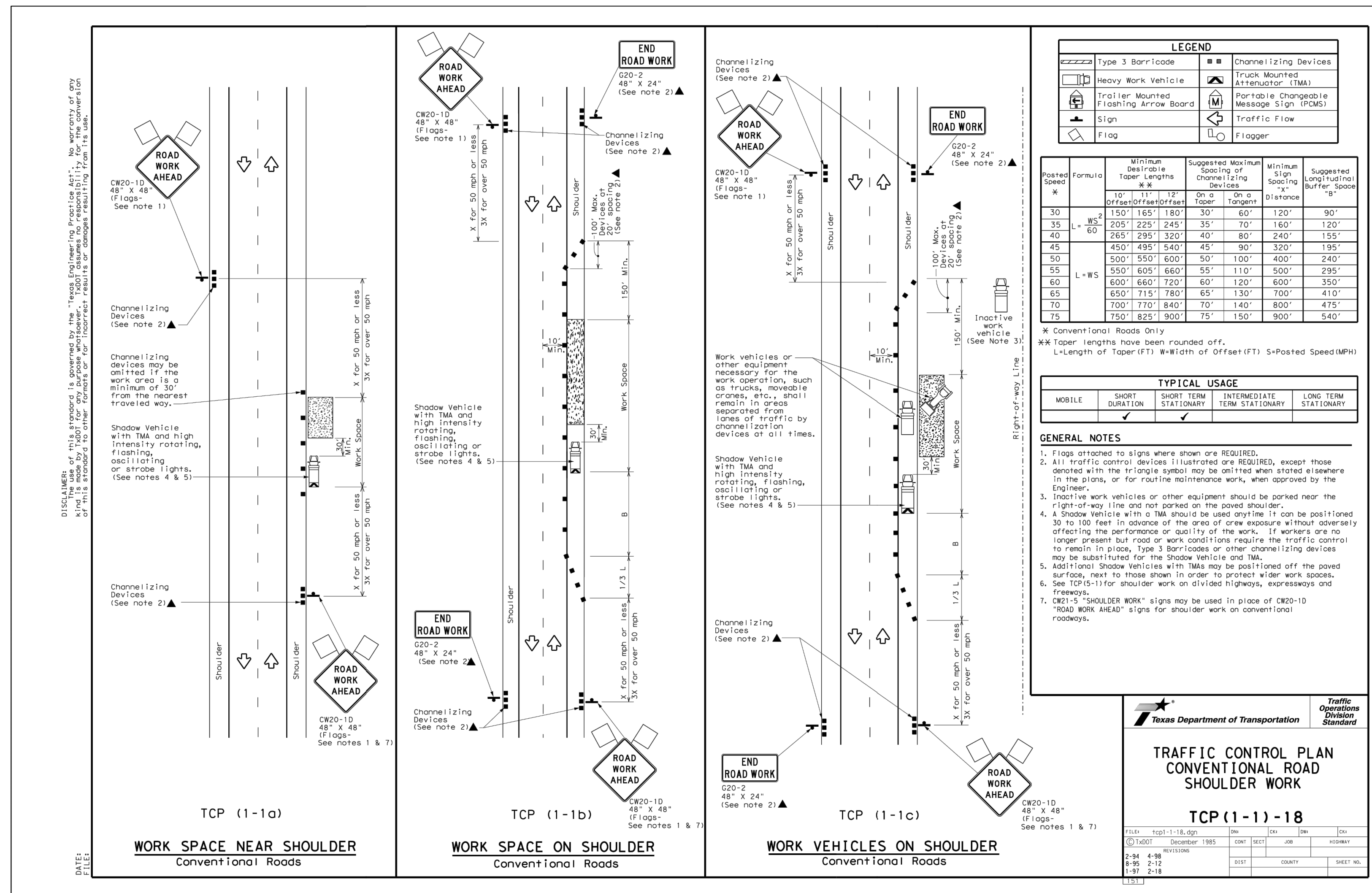
Prepared For:  
Vijay Kumar  
El Elohim, LLC  
4308 Egremont PL  
College Station, Texas 77845

Revisions

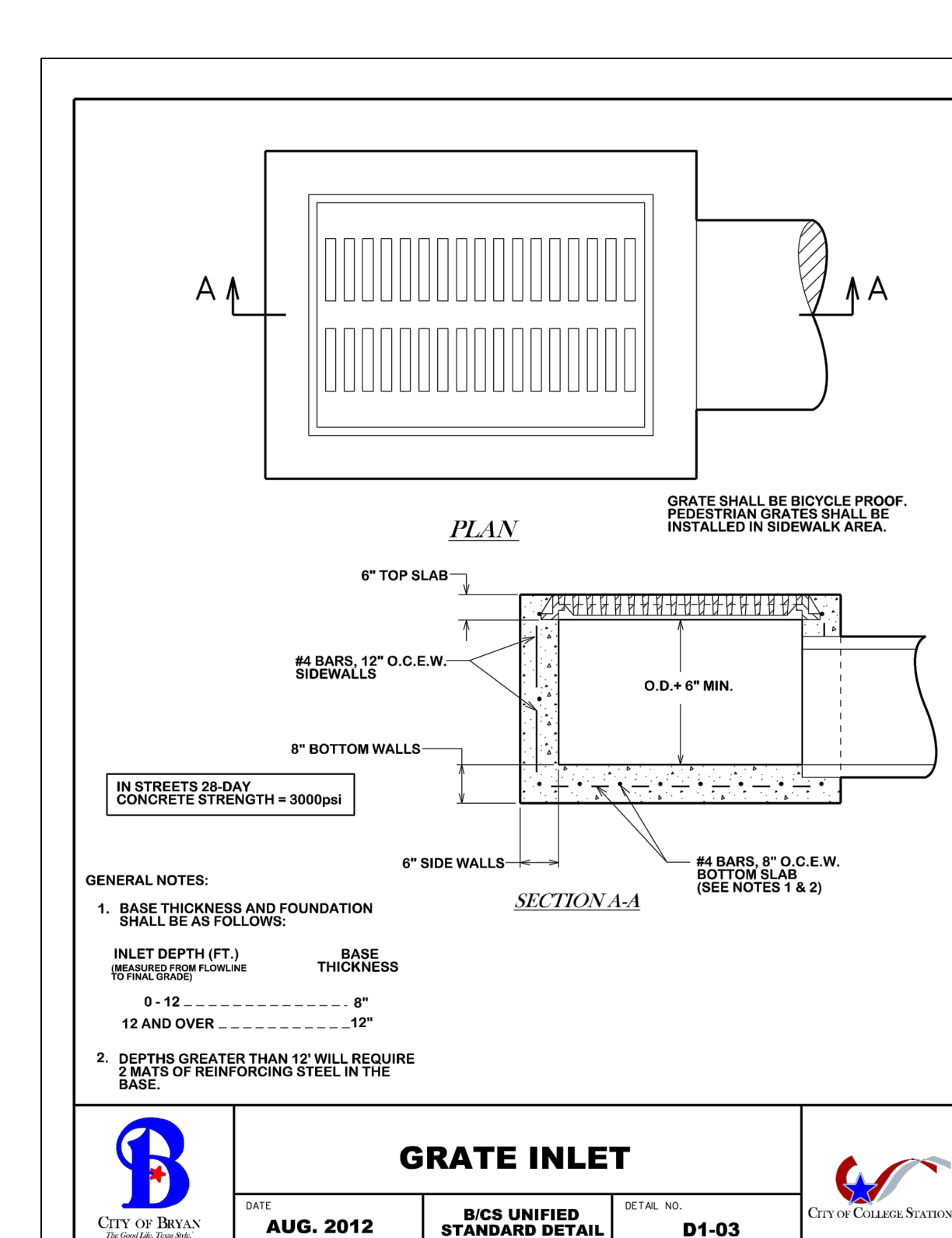
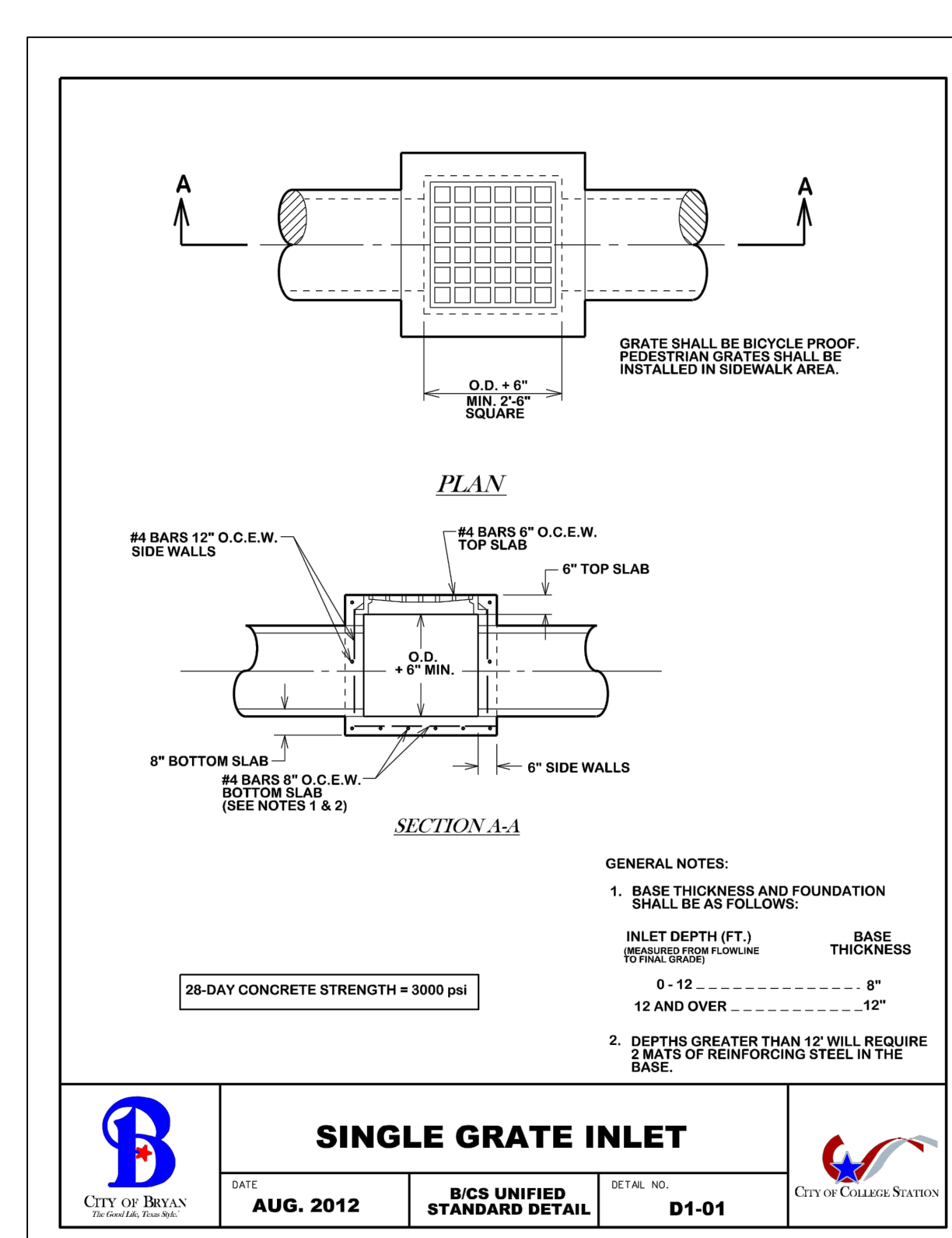
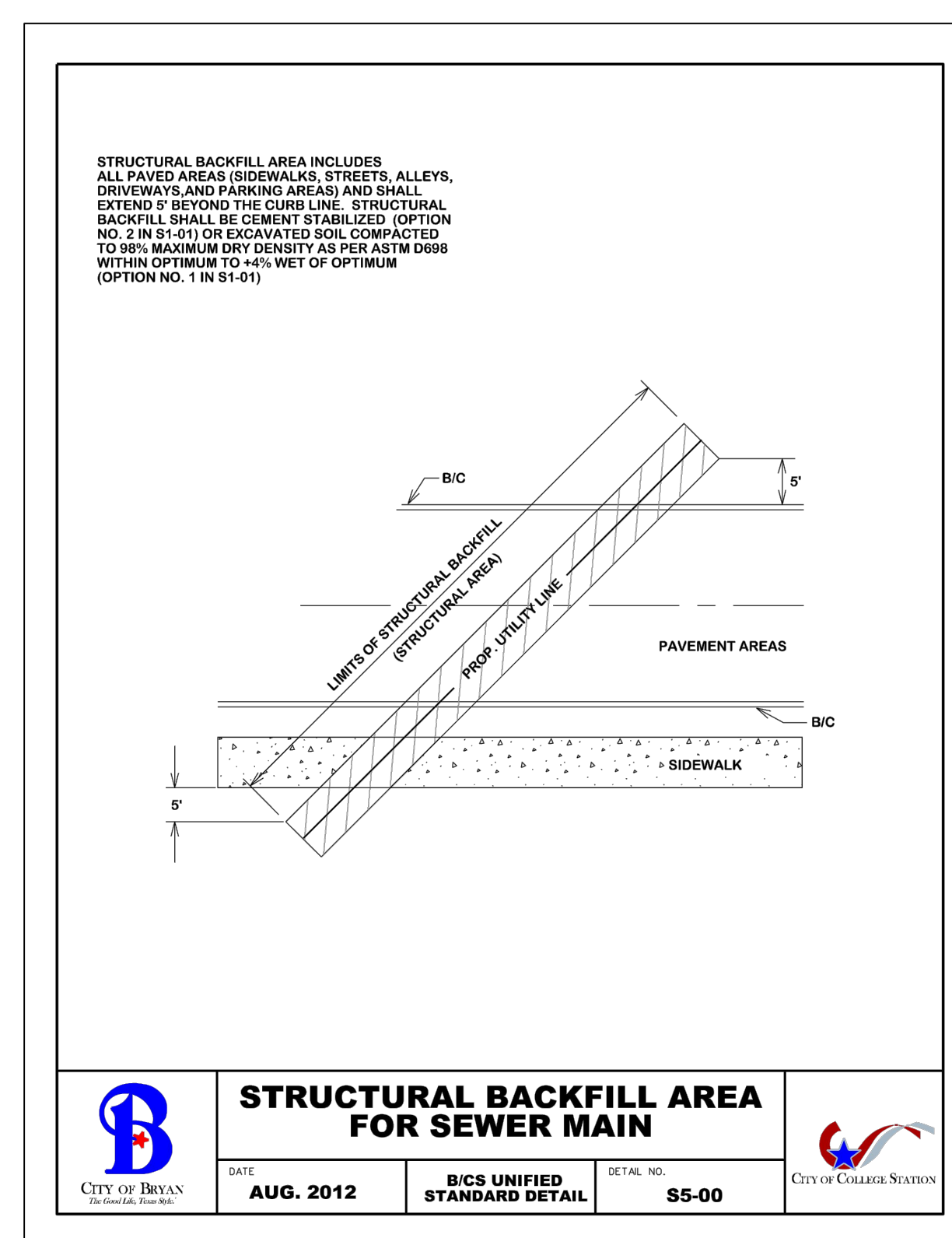
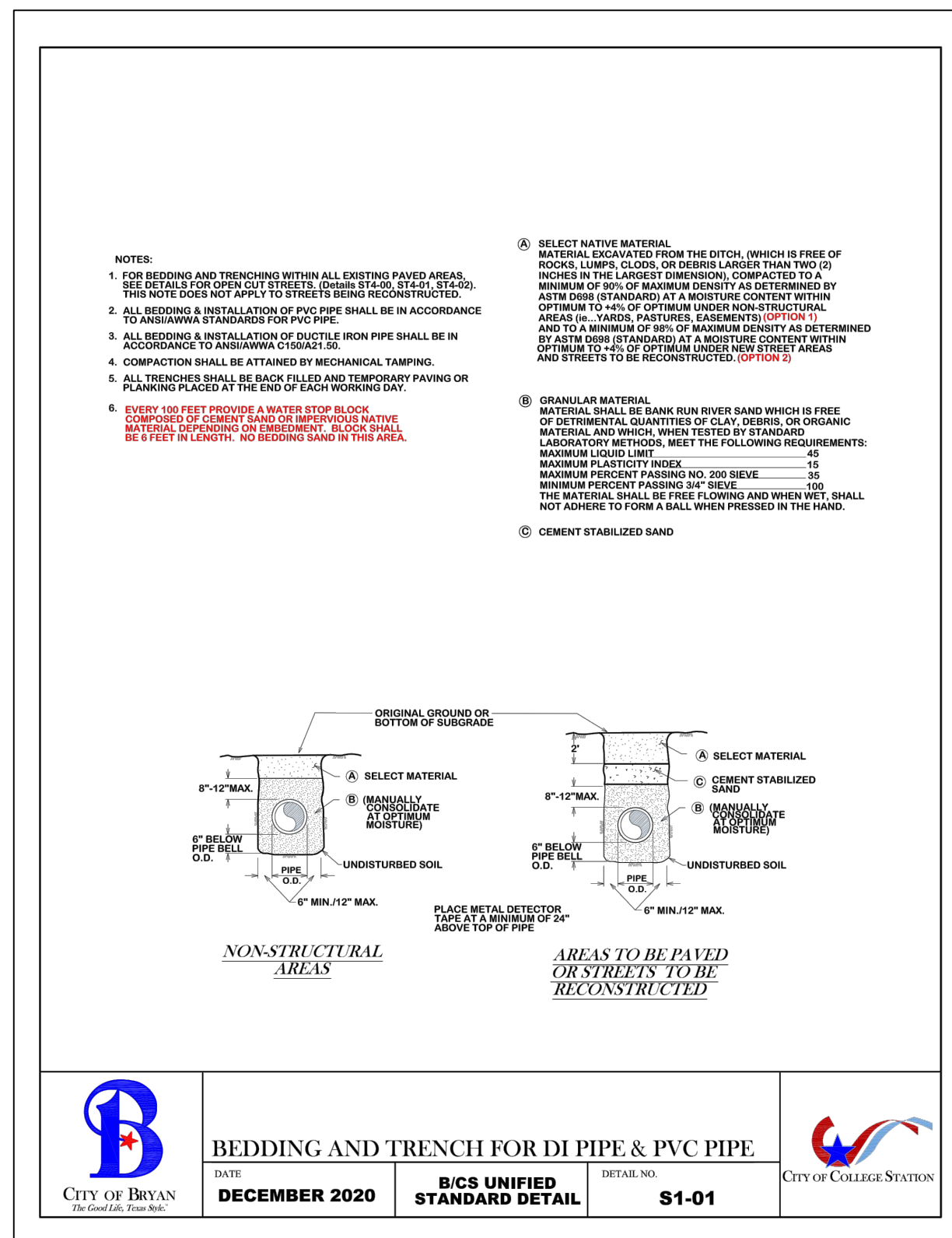
**EROSION CONTROL PLAN**  
3201 SOUTH COLLEGE AVENUE 0.689 ACRE TRACT

**ECP**









**RECOMMENDED MINIMUM TRENCH WIDTHS**

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	38"
24"	44"
30"	50"
36"	56"
42"	62"
48"	68"
60"	82"
72"	96"
84"	110"
96"	124"
108"	138"
120"	152"
144"	180"
168"	216"
192"	252"
216"	288"
240"	324"
264"	360"
288"	396"
312"	432"
336"	468"
360"	504"
384"	540"
408"	576"
432"	612"
456"	648"
480"	684"
504"	720"
528"	756"
552"	792"
576"	828"
600"	864"
624"	900"
648"	936"
672"	972"
696"	1008"
720"	1044"
744"	1080"
768"	1116"
792"	1152"
816"	1188"
840"	1224"
864"	1260"
888"	1296"
912"	1332"
936"	1368"
960"	1404"
984"	1440"
1008"	1476"
1032"	1512"
1056"	1548"
1080"	1584"
1104"	1620"
1128"	1656"
1152"	1692"
1176"	1728"
1200"	1764"
1224"	1800"
1248"	1836"
1272"	1872"
1296"	1908"
1320"	1944"
1344"	1980"
1368"	2016"
1392"	2052"
1416"	2088"
1440"	2124"
1464"	2160"
1488"	2196"
1512"	2232"
1536"	2268"
1560"	2304"
1584"	2340"
1608"	2376"
1632"	2412"
1656"	2448"
1680"	2484"
1704"	2520"
1728"	2556"
1752"	2592"
1776"	2628"
1800"	2664"
1824"	2700"
1848"	2736"
1872"	2772"
1896"	2808"
1920"	2844"
1944"	2880"
1968"	2916"
1992"	2952"
2016"	2988"
2040"	3024"
2064"	3060"
2088"	3096"
2112"	3132"
2136"	3168"
2160"	3204"
2184"	3240"
2208"	3276"
2232"	3312"
2256"	3348"
2280"	3384"
2304"	3420"
2328"	3456"
2352"	3492"
2376"	3528"
2400"	3564"
2424"	3600"
2448"	3636"
2472"	3672"
2496"	3708"
2520"	3744"
2544"	3780"
2568"	3816"
2592"	3852"
2616"	3888"
2640"	3924"
2664"	3960"
2688"	3996"
2712"	4032"
2736"	4068"
2760"	4104"
2784"	4140"
2808"	4176"
2832"	4212"
2856"	4248"
2880"	4284"
2904"	4320"
2928"	4356"
2952"	4392"
2976"	4428"
3000"	4464"

**MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS\***

PIPE DIAM.	H-25 SURFACE LEVEL LOADING CONDITION	HEAVY CONSTRUCTION (75T AXLE LOAD)*
12" - 48"	12"	40"
300mm - 1200mm	(305mm)	(1219mm)
60"	24"	60"
(1500mm)	(610mm)	(1524mm)

\*VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER \*\*SEE BACKFILL REQUIREMENTS IN NOTE 6.

**MAXIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS**

PIPE DIAM.	CLASS I		CLASS II		CLASS III	
	COMPACTED	DUMPED	95%	90%	95%	90%
4"	34	16	23	18	17	17
(100mm)	(10.4m)	(4.9m)	(7.0m)	(4.9m)	(4.9m)	(5.2m)
6"	40	19	27	19	20	20
(150mm)	(12.2m)	(5.8m)	(8.2m)	(6.8m)	(6.8m)	(6.1m)
8"	30	14	21	14	15	15
(200mm)	(9.1m)	(4.3m)	(6.4m)	(4.3m)	(4.3m)	(4.8m)
10"	34	16	23	18	17	17
(250mm)	(10.4m)	(4.9m)	(7.0m)	(4.9m)	(4.9m)	(5.2m)
12"	35	17	24	17	18	18
(300mm)	(10.7m)	(5.2m)	(7.3m)	(6.2m)	(6.2m)	(5.5m)
15"	37	18	25	18	19	19
(375mm)	(11.3m)	(5.5m)	(7.6m)	(6.5m)	(6.5m)	(5.8m)
18"	32	15	22	15	16	16
(450mm)	(9.8m)	(4.6m)	(6.7m)	(4.6m)	(4.6m)	(4.9m)
24"	27	13	19	13	14	14
(600mm)	(8.2m)	(4.0m)	(5.8m)	(4.0m)	(4.0m)	(4.3m)
30"	22	11	16	11	11	11
(750mm)	(6.7m)	(3.4m)	(4.9m)	(3.4m)	(3.4m)	(3.4m)
36"	26	13	19	12	13	13
(900mm)	(7.9m)	(3.7m)	(5.5m)	(3.7m)	(3.7m)	(4.0m)
42"	24	11	17	11	12	12
(1050mm)	(7.3m)	(3.4m)	(5.2m)	(3.4m)	(3.7m)	(3.7m)
48"	23	11	16	11	12	12
(1200mm)	(7.0m)	(3.4m)	(4.9m)	(3.4m)	(3.7m)	(3.7m)
60"	26	12	19	12	13	13
(1500mm)	(7.9m)	(3.7m)	(5.5m)	(3.7m)	(4.0m)	(4.0m)

**MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR TRAFFIC APPLICATIONS WITH LESS THAN FOUR FEET OF COVER, EMBEDMENT OF THE PIPE SHALL BE USING ONLY A CLASS I OR CLASS II BACKFILL.

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHKD
1	08/29/10	ISSUED FOR BIDDING	MM	MM
2	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
3	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
4	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
5	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
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9	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
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11	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
12	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
13	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
14	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
15	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
16	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
17	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
18	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
19	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
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85	08/29/10	REVISED TO ADD 3" MIN. COVER TO TOP OF PIPE	MM	MM
86	08/29/10	REVISED TO ADD 3" MIN		

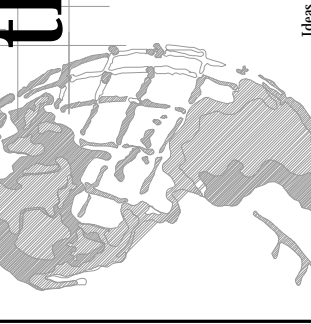


Submittals	BY



3201 SOUTH COLLEGE AVE.

547 william d. fitch pkwy #108 college station, texas 77845 . 979.846.2775



the land design group inc.  
MIDTOWN PETROL STATION

DRAWN  
CT  
CHECKED  
AK  
DATE  
8-29-23  
SCALE  
1" = 10'-0"  
JOB NO.  
LDG 22.106.11  
SHEET

LS 1  
OF

**PLANT SCHEDULE**

SYMBOL	QTY	COMMON / BOTANICAL NAME	CONT	CAL	TRUNK
<b>CANOPY TREES</b>					
	1	Burr Oak / <i>Quercus macrocarpa</i> 1 x 200 = 200 SF	As Needed	1.5" Cal	
	2	Cedar Elm / <i>Ulmus crassifolia</i> 2 x 200 = 400 SF	As Needed	1.5" Cal	
<b>NON-CANOPY TREES</b>					
	12	Grape Myrtle / <i>Lagerstroemia x Tuscarora</i> 10 x 100 = 1,000 SF	As Needed	1.5" Cal	3 cones min.
	1	Palo Verde / <i>Parkinsonia aculeata</i> 1 x 100 = 100 SF	As Needed	1.5" Cal	3 cones min.
<b>SHRUBS</b>					
	40	Drift Rose 'Pink' / <i>Rosa 'drift' Pink</i> 37 x 10 = 370 SF	3 gal		
	25	Dwarf Burford Holly / <i>Ilex cornuta 'Burfordii Nana'</i> 26 x 10 = 260 SF	5 gal		
	27	Dwarf Fountain Grass / <i>Pennisetum alopecuroides 'Hameln'</i> 15 x 10 = 150 SF	3 gal		
	46	Red Yucca / <i>Hesperaloe parviflora</i> 21 x 10 = 210 SF	3 gal		
	88	Soap Aloe / <i>Aloe maculata</i> 44 x 10 = 440 SF	3 gal		
	25	Society Garlic / <i>Tulbaghia violacea</i> 25 x 10 = 250 SF	3 gal		
<b>SHRUB AREAS</b>					
	11	Upright Rosemary / <i>Rosmarinus officinalis</i>	1 gal		30" o.c.
<b>GROUND COVERS</b>					
	47	Giant Liriope / <i>Liriope muscari gigantea</i>	1 gal@		30" o.c.

**Landscape Requirements**

N/F  
B-CS PROPERTIES, INC  
LOTS 5 AND 6  
BLOCK 1  
MIDWAY PLACE  
(38/598 DRBCT)  
(1169/77 ORBCT)

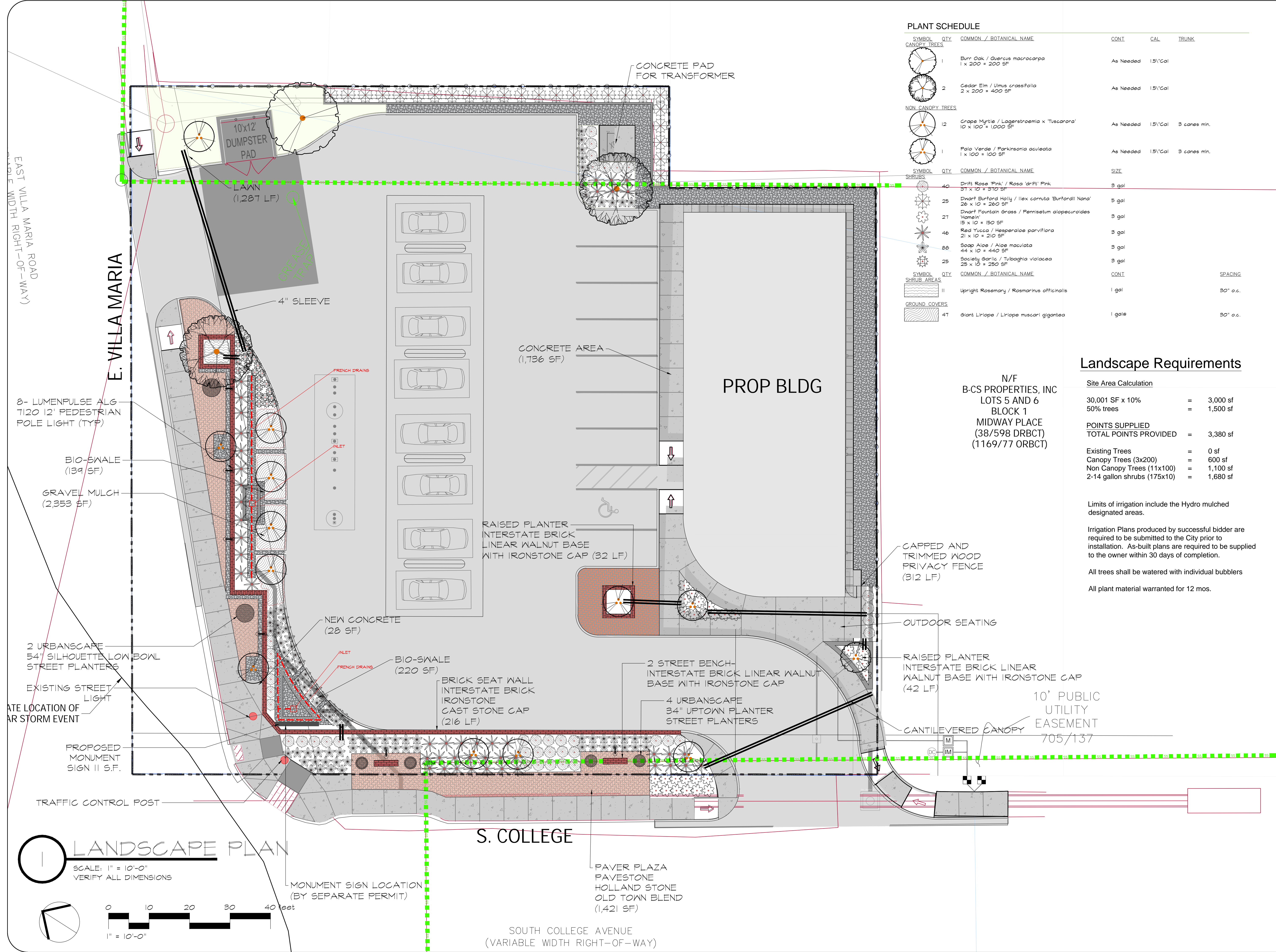
Site Area Calculation	
30,001 SF x 10%	= 3,000 sf
50% trees	= 1,500 sf
<b>POINTS SUPPLIED</b>	
TOTAL POINTS PROVIDED	= 3,380 sf
Existing Trees	= 0 sf
Canopy Trees (3x200)	= 600 sf
Non Canopy Trees (11x100)	= 1,100 sf
2-14 gallon shrubs (175x10)	= 1,680 sf

Limits of irrigation include the Hydro mulched designated areas.

Irrigation Plans produced by successful bidder are required to be submitted to the City prior to installation. As-built plans are required to be supplied to the owner within 30 days of completion.

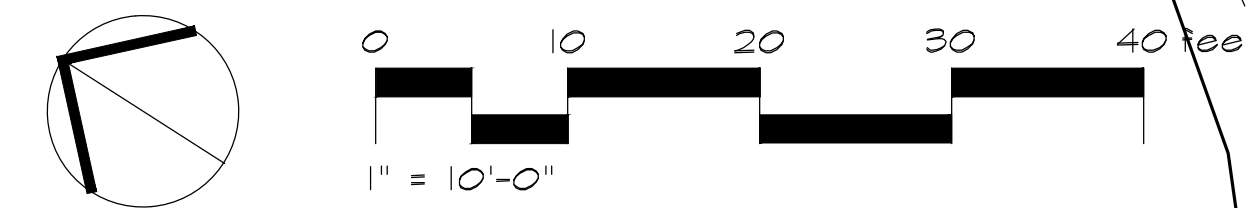
All trees shall be watered with individual bubblers

All plant material warranted for 12 mos.



**LANDSCAPE PLAN**

SCALE: 1" = 10'-0"  
VERIFY ALL DIMENSIONS



MONUMENT SIGN LOCATION  
(BY SEPARATE PERMIT)

S. COLLEGE

SOUTH COLLEGE AVENUE  
(VARIABLE WIDTH RIGHT-OF-WAY)

PAVER PLAZA  
PAVESTONE  
HOLLAND STONE  
OLD TOWN BLEND  
(1,421 SF)

CAPPED AND TRIMMED WOOD PRIVACY FENCE (312 LF)

OUTDOOR SEATING

RAISED PLANTER  
INTERSTATE BRICK LINEAR WALNUT BASE WITH IRONSTONE CAP (42 LF)

10' PUBLIC UTILITY EASEMENT  
705/137

CANTILEVERED CANOPY

CONCRETE PAD FOR TRANSFORMER

CONCRETE AREA (1,736 SF)

RAISED PLANTER  
INTERSTATE BRICK LINEAR WALNUT BASE WITH IRONSTONE CAP (32 LF)

2 STREET BENCH  
INTERSTATE BRICK LINEAR WALNUT BASE WITH IRONSTONE CAP

BRICK SEAT WALL  
INTERSTATE BRICK  
IRONSTONE  
CAST STONE CAP  
(216 LF)

NEW CONCRETE (28 SF)

BIO-SWALE (220 SF)

BIO-SWALE (139 SF)

GRAVEL MULCH (2,353 SF)

8- LUMENPULSE ALG 7120 12' PEDESTRIAN POLE LIGHT (TYP)

PROPOSED MONUMENT SIGN 11 S.F.

TRAFFIC CONTROL POST

10x12 DUMPSTER PAD

LAWN (1,287 LF)

GREASE TRAP

4" SLEEVE

FRENCH DRAINS

INLET

INLET

FRENCH DRAINS

INLET

FRENCH DRAINS

INLET

FRENCH DRAINS

INLET

FRENCH DRAINS

INLET

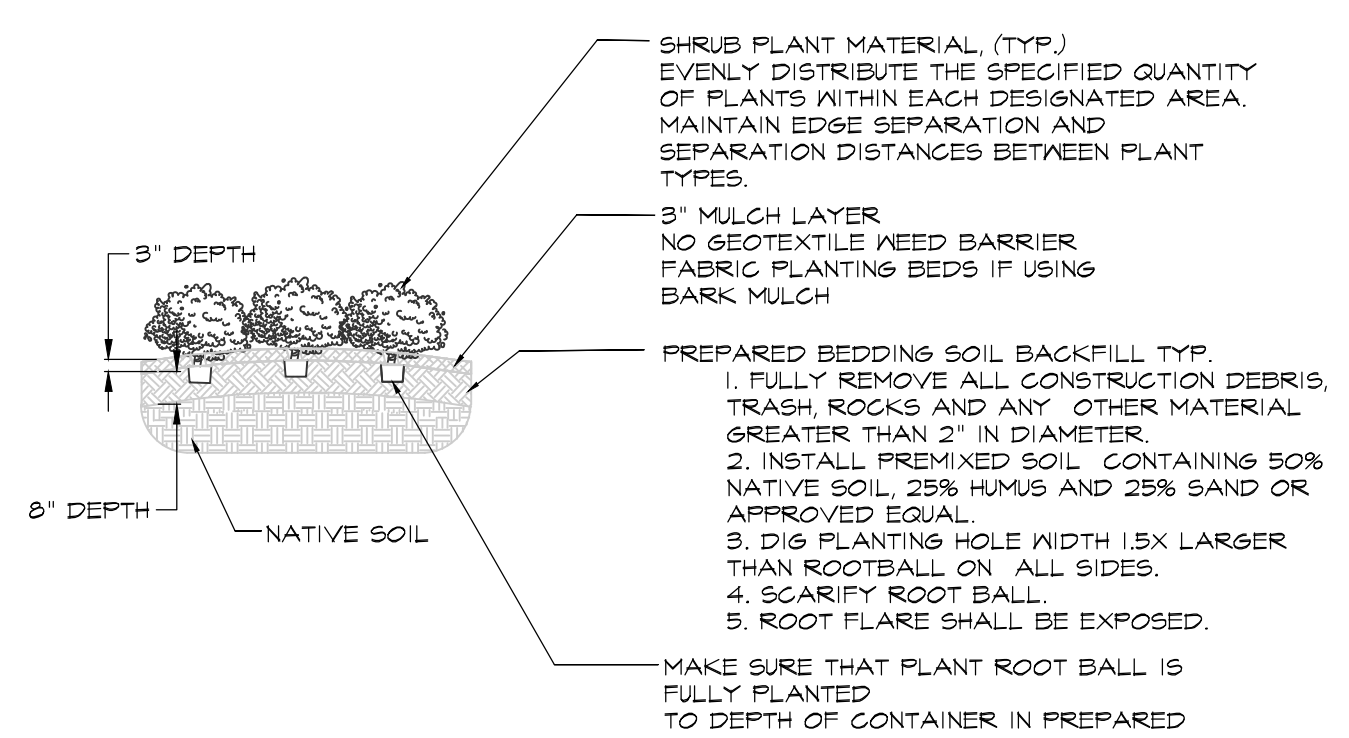
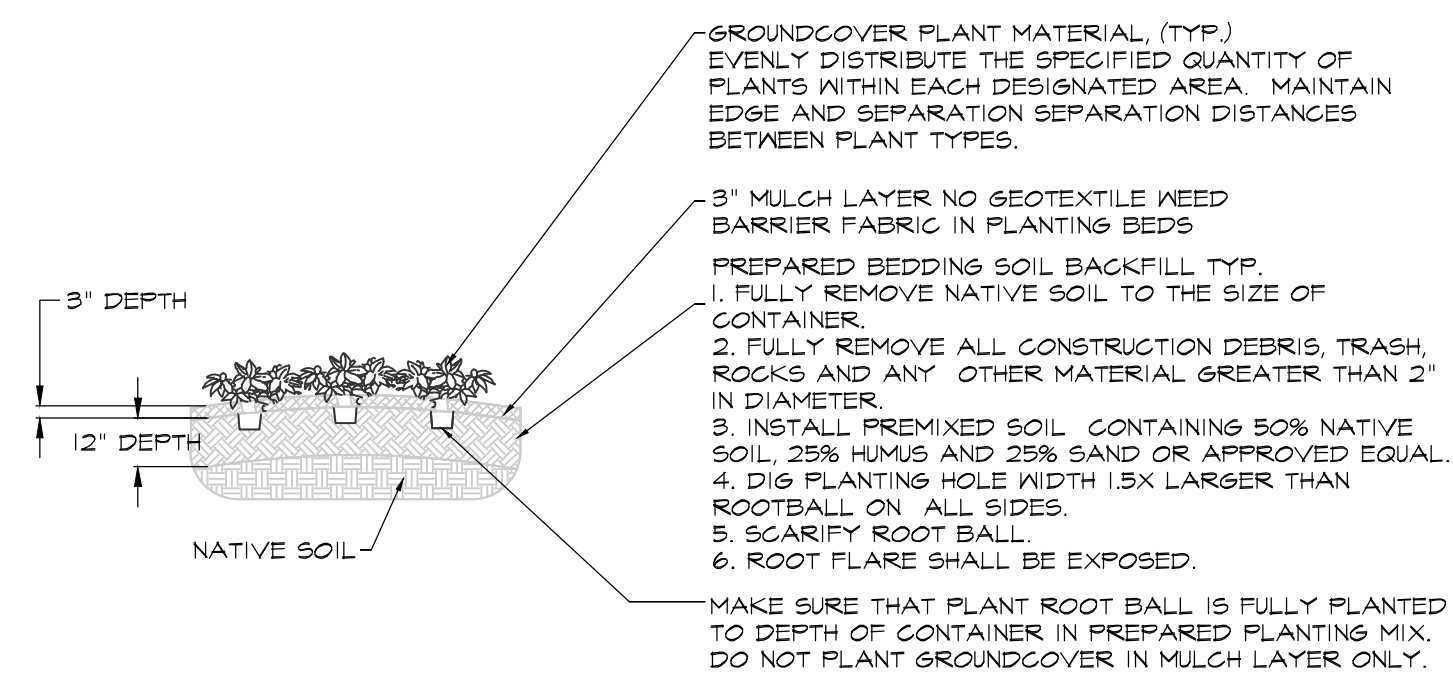
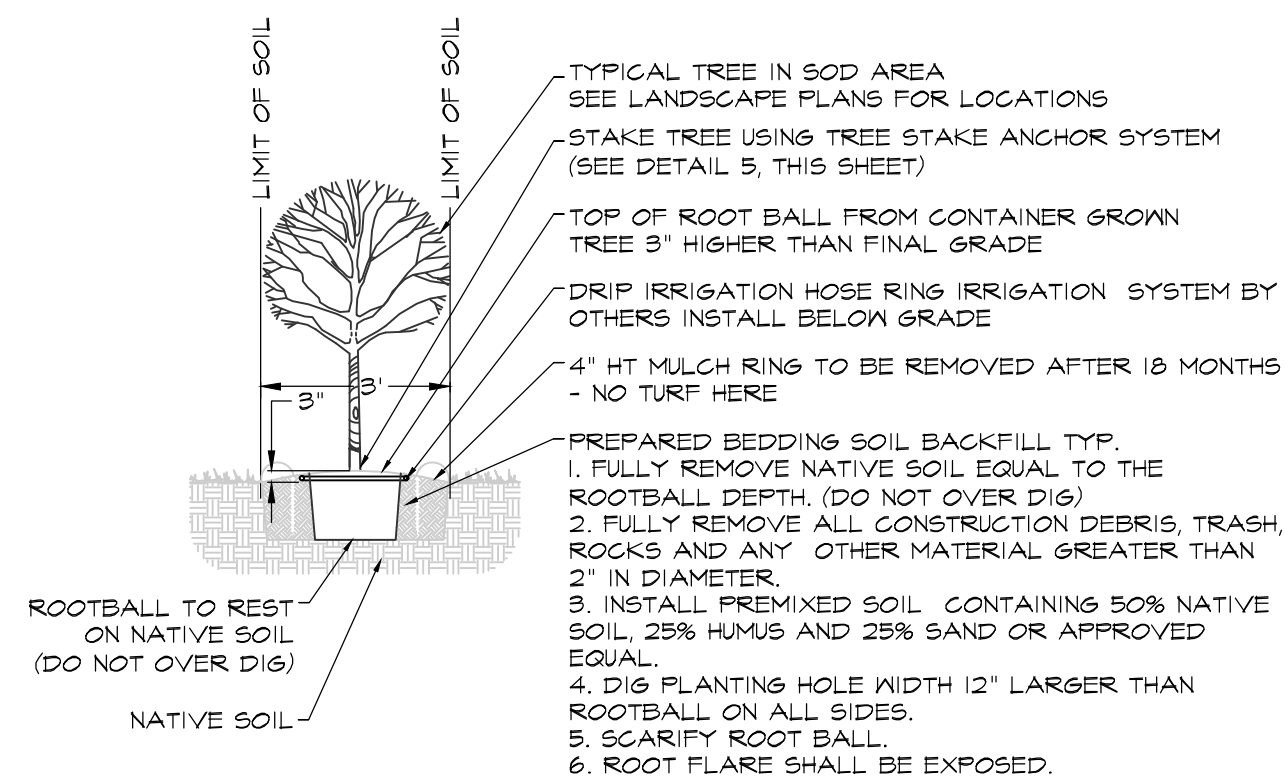
FRENCH DRAINS

INLET

FRENCH DRAINS



Submittals	BY



# 1 TREE PLANTING

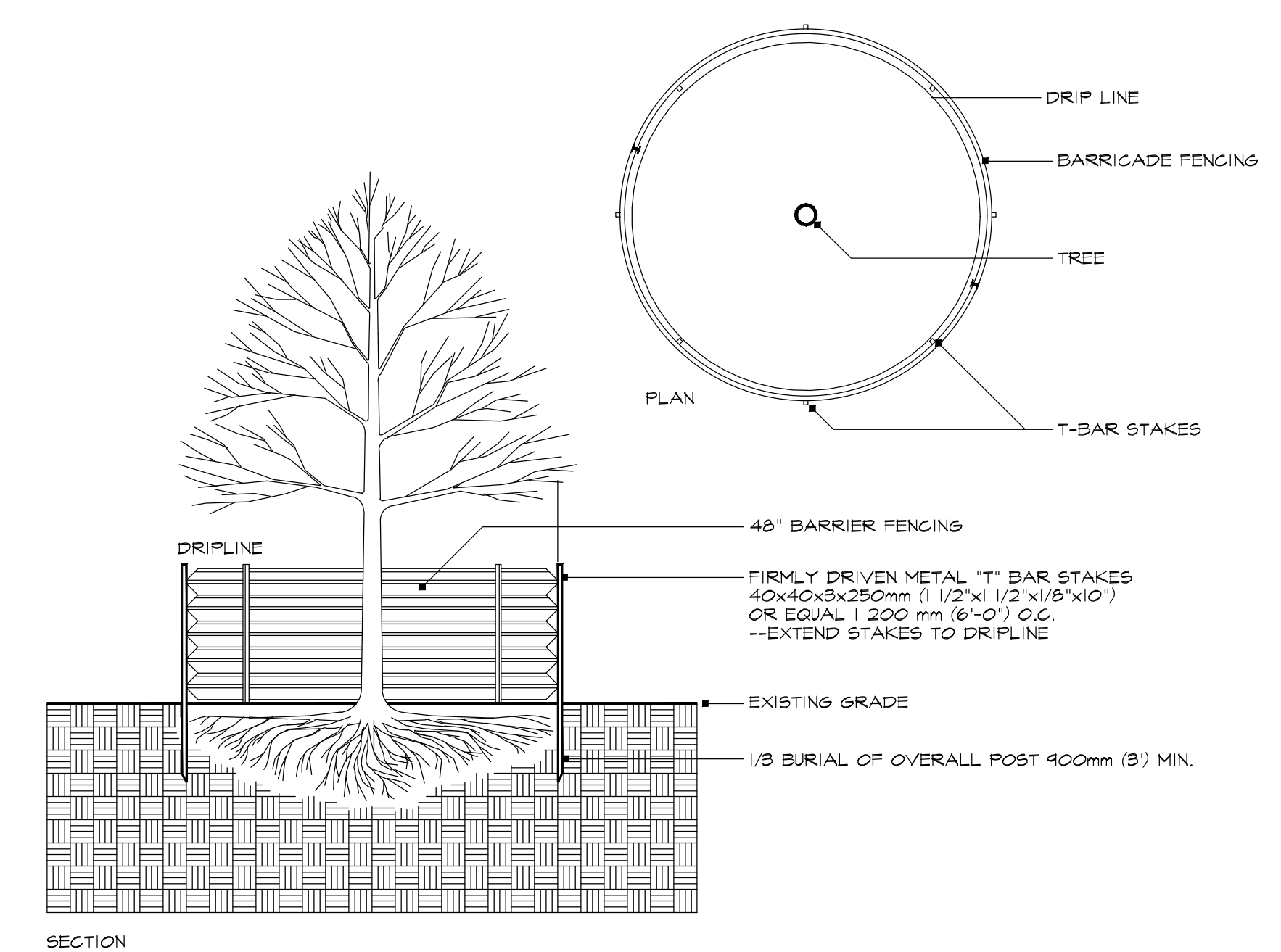
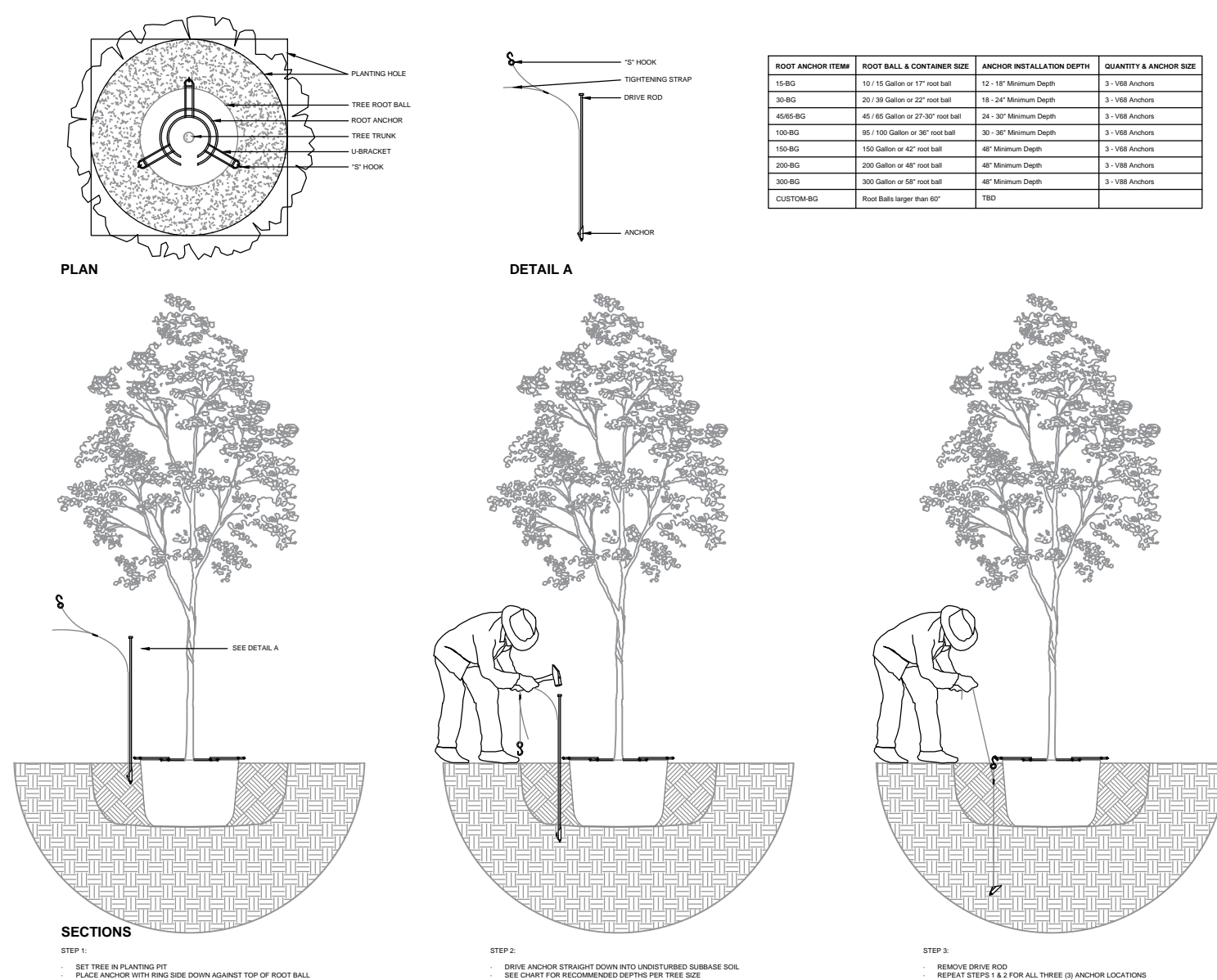
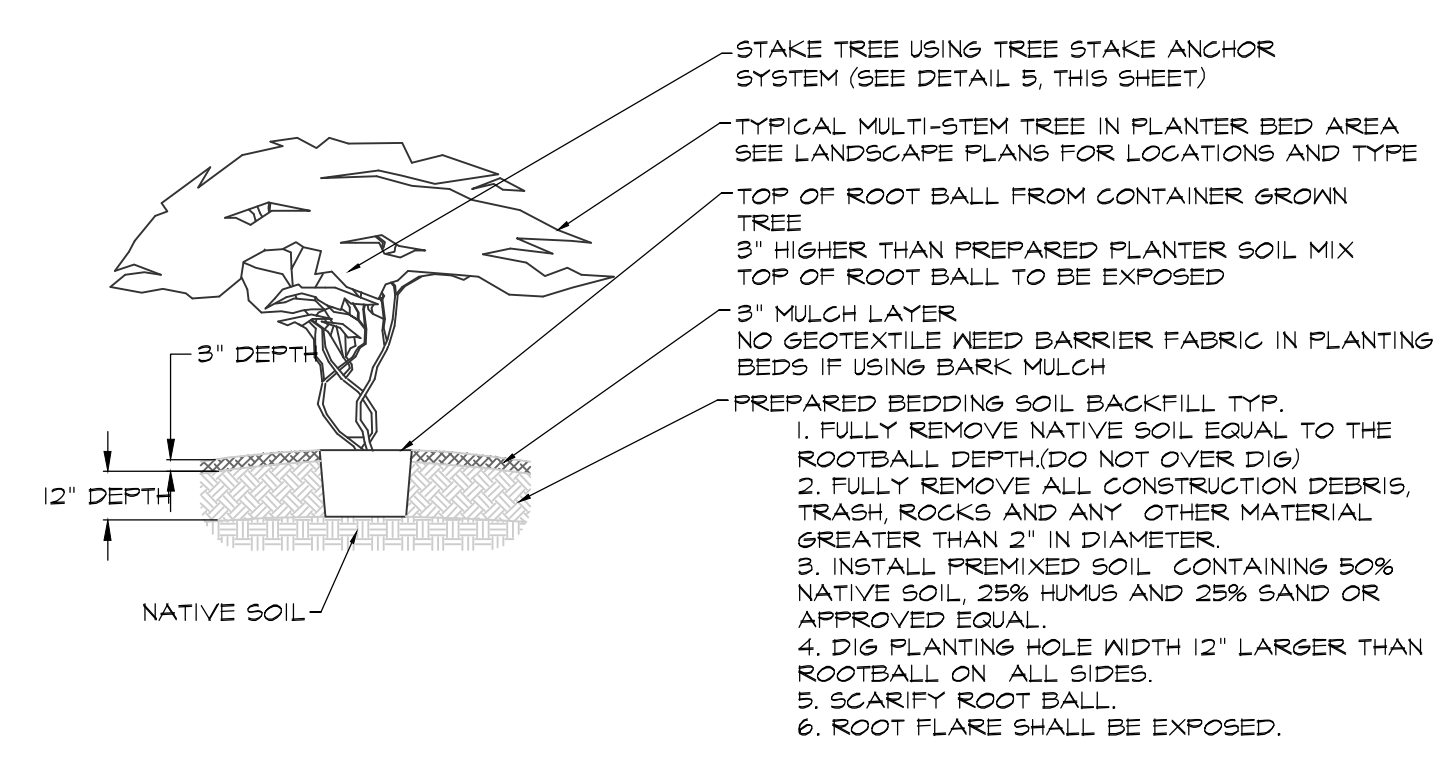
SCALE: 1/4" = 1'-0"  
VERIFY ALL DIMENSIONS

# 2 GROUNDCOVER PLANTING

SCALE: 1/4" = 1'-0"  
VERIFY ALL DIMENSIONS

# 3 SHRUB PLANTING

SCALE: 1/4" = 1'-0"  
VERIFY ALL DIMENSIONS



# 4 NON CANOPY TREE PLANTING

SCALE: 1/4" = 1'-0"  
VERIFY ALL DIMENSIONS

# 5 ROOTBALL ANCHOR

SCALE: 1/4" = 1'-0"  
VERIFY ALL DIMENSIONS

# 6 TREE PROTECTION

SCALE: 1/4" = 1'-0"  
VERIFY ALL DIMENSIONS

**TREE PROTECTION ZONE**

DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION FENCING.

*Doing so may result in a stop work order.*

Please contact the landscape architect at (979)846-2775 if alterations to the approved location of the tree protection fence are necessary.

ALLUMALITE SIGN MATERIAL WITH MOUNTING HOLES AT THE CORNERS TO ZIP TIE CONSTRUCTION FENCE EVERY 50' 48" OFF THE GROUND

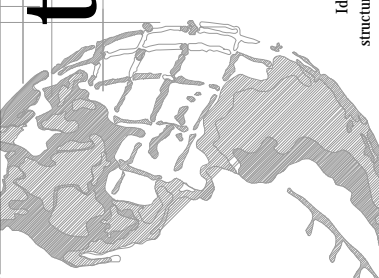
# 7 TREE PROTECTION SIGNAGE

SCALE: 1" = 1'-0"  
VERIFY ALL DIMENSIONS

the land design group inc.

547 william d. fitch pkwy #108 college station, texas 77845 . 979.846.2775

MIDTOWN PETROL STATION



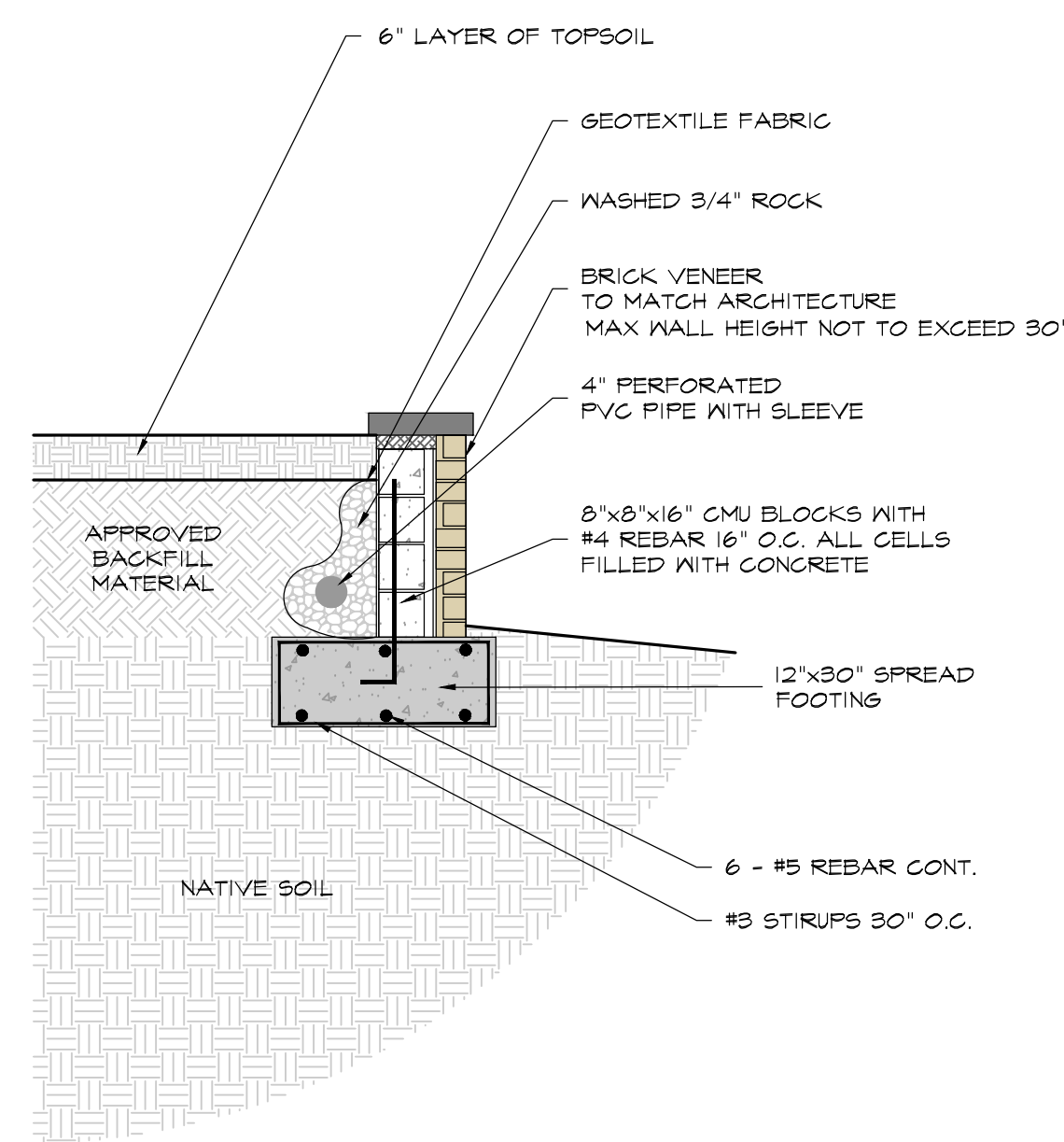
DRAWN	CJG
CHECKED	AK
DATE	8-29-23
SCALE	VARIABLE
JOB NO.	LDG 22.106.11
SHEET	

D 1 OF

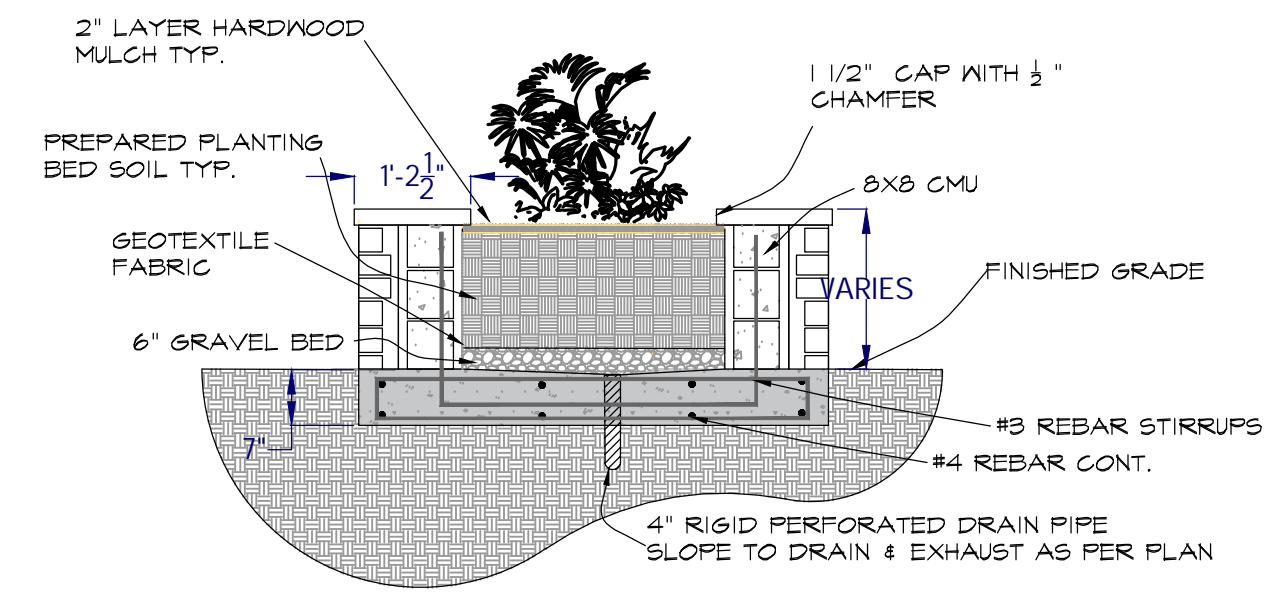
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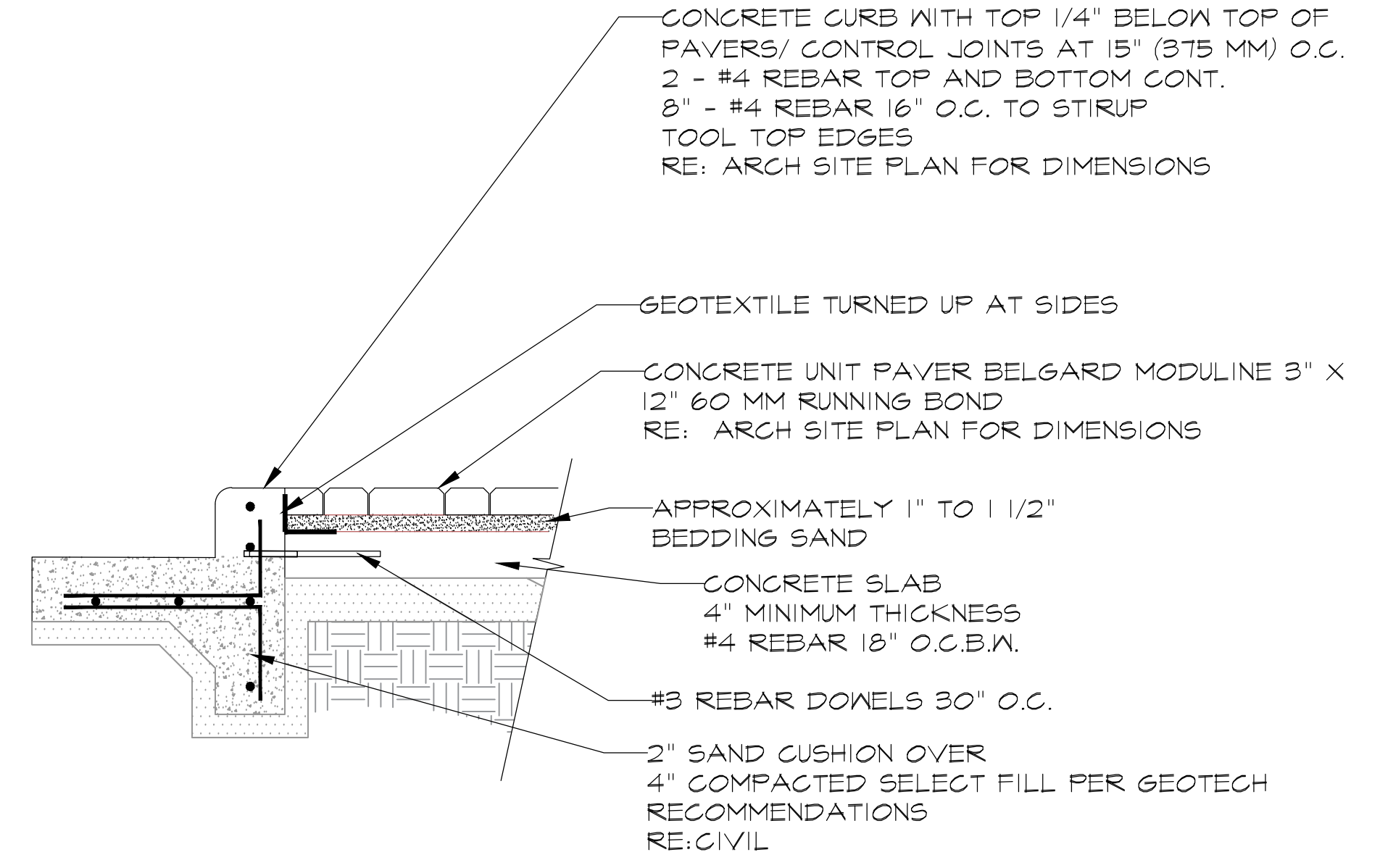
Submittals	BY



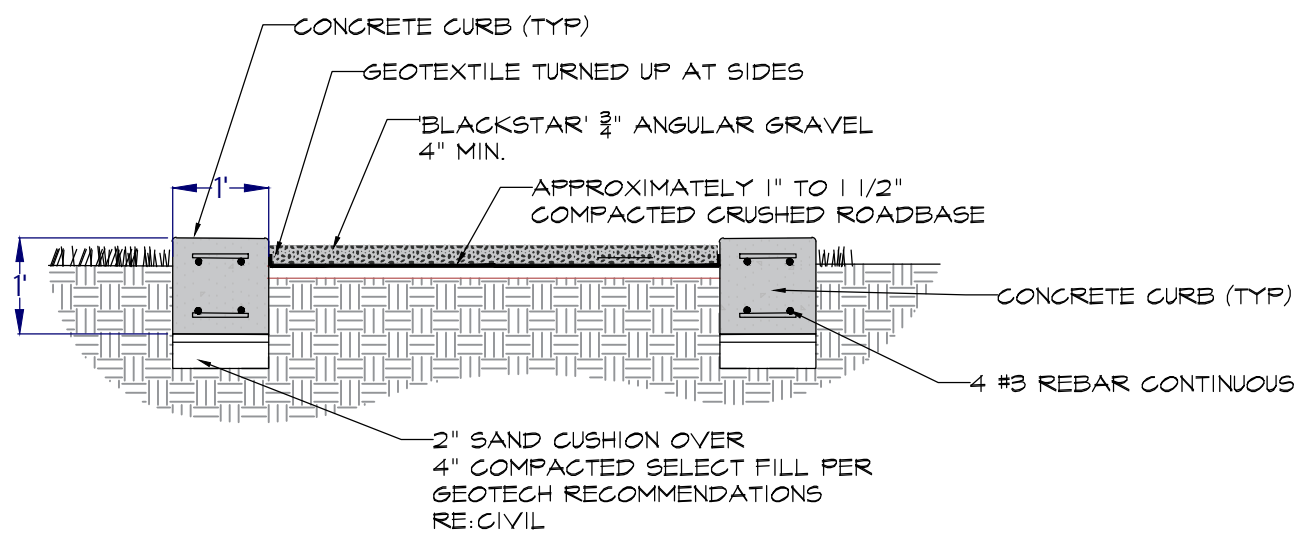
**1** RETAINING WALL  
SCALE: 1/2" = 1'-0"  
VERIFY ALL DIMENSIONS



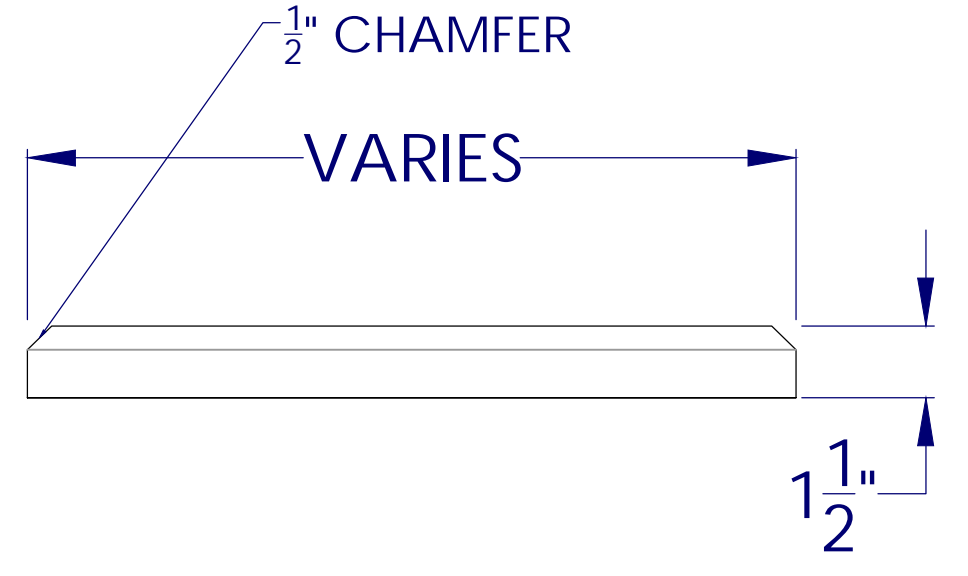
**2** CONCRETE PLANTER SECTION  
SCALE: 1/2" = 1'-0"  
VERIFY ALL DIMENSIONS



**3** CONCRETE PAVER SECTION  
SCALE: 1" = 1'-0"  
VERIFY ALL DIMENSIONS

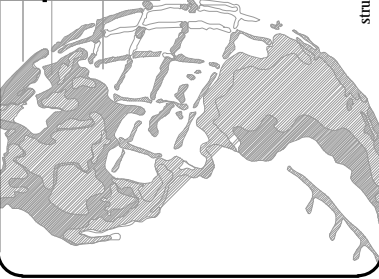


**4** GRAVEL MULCH  
SCALE: 1/2" = 1'-0"  
VERIFY ALL DIMENSIONS



**5** CAST STONE CAPS  
SCALE: 1/2" = 1'-0"  
VERIFY ALL DIMENSIONS

the land design group inc.  
547 william d. fitch pkwy #108 college station, texas 77845 . 979.846.2775  
MIDTOWN PETROL STATION



DRAWN	CJG
CHECKED	AK
DATE	8-29-23
SCALE	VARIES
JOB NO.	LDG 22.106.11
SHEET	

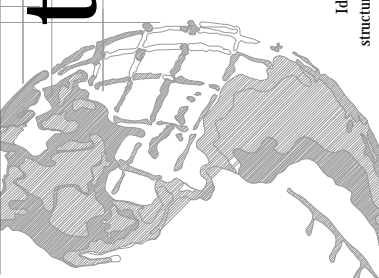


Submittals	BY



3201 SOUTH COLLEGE AVE.

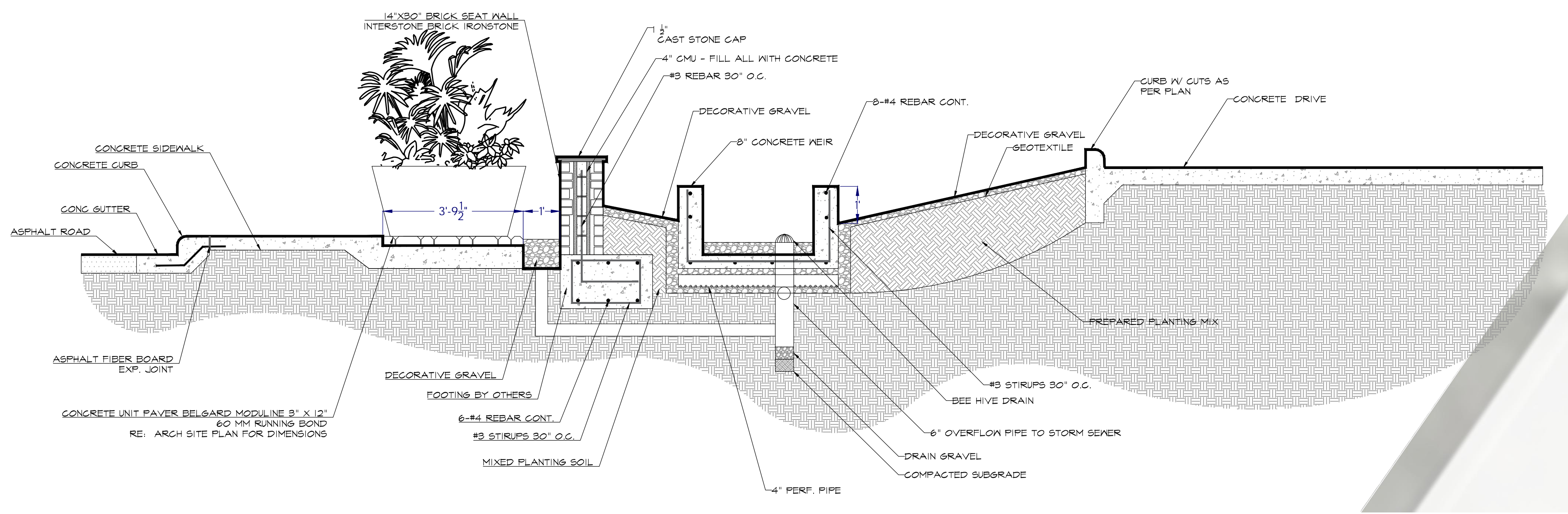
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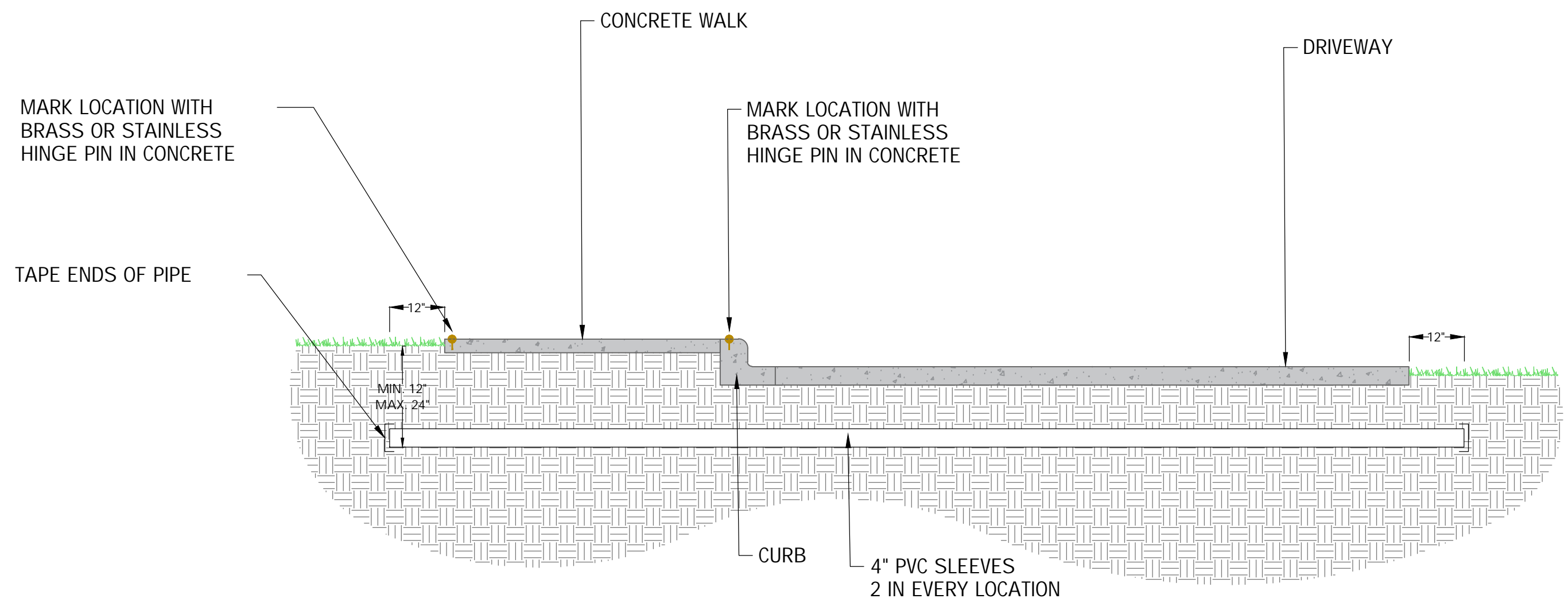
MIDTOWN PETROL STATION

DRAWN: CJG  
CHECKED: AK  
DATE: 8-29-23  
SCALE: VARIES  
JOB NO.: LDG 22.106.11  
SHEET

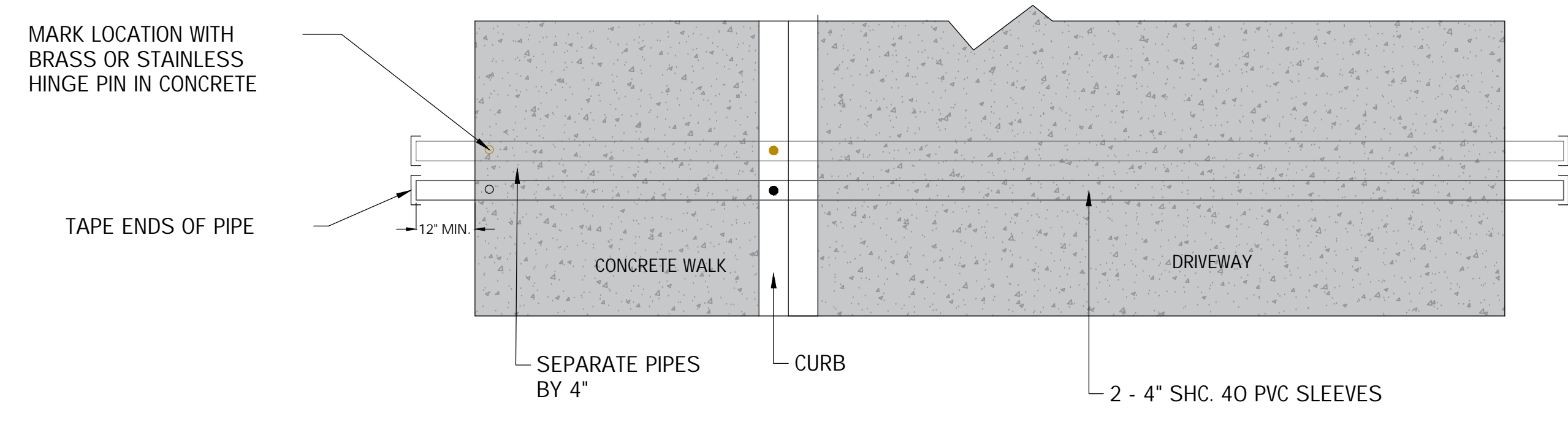
D 3 OF



**1** BIO SWALE  
SCALE: 1/2" = 1'-0"  
VERIFY ALL DIMENSIONS



**XX** SECTION: IRRIGATION SLEEVE  
SCALE: NTS



**2** SECTION: IRRIGATION SLEEVE  
SCALE: NTS  
VERIFY ALL DIMENSIONS